

TO: Planning Commission

FROM: Anne McClung, Planning and Building Department Director

RE: Zoning Ordinance Amendment #60/Ordinance #2001

DATE: November 10, 2022

The Planning Commission reviewed the proposed Downtown Northwest (DTNW) zoning district at its October 18, 2022 work session. DTNW is proposed as a new optional floating zoning district. The creation of this district does not change any existing zoning in the geographic area eligible for the district. The district covers the area bounded by North Main St., Turner St., and Prices Fork Rd. Creation of the district implements the Town's Downtown Strategic Plan.

At the work session, Planning Commission identified several issues for additional consideration or change. Staff reviewed the issues brought up at the work session and a new version of the document, dated November 2022, has been prepared with changes incorporated.

To aid the Planning Commission in focusing on the changes to the document based on the input at the work session, each change is discussed below with the new wording shown. The full text, as revised, is also attached to this memo.

At the work session, Staff indicated that further information would be provided regarding building height and residential density. A memo from Camiros Ltd. regarding building height and a memo from Development Strategies regarding density are attached.

Section 3501 - Applicability

Item (b) has been reworded to be clear that to apply for rezoning to the DTNW district the parcel size must be a minimum of 3.5 acres and also contain a minimum of 300' of contiguous frontage on a public street.

(b) Any application for a rezoning to the DTNW district shall comprise a minimum of 3.5 acres in area, and shall have a minimum of 300 feet of contiguous frontage upon at least one public street.

Section 3504 – Dimensional Standards, Building Siting

The Planning Commission suggested changing the Build To Zone from a range of 10-20 feet to a higher minimum range as 10 feet was very close to the back of curb. The new proposed range is 20-25 feet as shown in the chart below.

(a) Building Siting

The following standards regulate the placement of buildings on lots within the DTNW District. Building siting standards are intended to ensure the creation of an urban development character and a walkable, pedestrian orientation in alignment with the intent of the district, while maintaining compatibility with existing downtown development.

A	Build-To Zone¹	20-25 ft. from back of curb
B	Minimum Build-Out Percentage²	Fronting North Main Street: 80% Fronting any other street: 60%
C	Minimum Build-To Percentage	80%
D	Minimum Side Setback³	None
E	Minimum Rear Setback³	None

Section 3505 – Building Design and Performance Standards

The Planning Commission discussed innovative building design, the changing nature of building materials and construction methods and suggested that there be consideration for some type of greater design flexibility than offered in the text as drafted. Staff discussed this issue and found that wording to meet the desired intent was very difficult to craft. Wording that creates flexibility is less likely to result in creative design and more likely to result in an attempt work around the standards for a poor design. The more detailed building standards are an integral part of form-based zoning. Should there be a proposal for a new innovative building design, then staff would prefer to deal with that when the situation arises. Should such a proposal be brought forward, staff would propose a strategic amendment to the district to allow consideration of the building design.

Section 3505 – Building Design and Performance Standards

The Planning Commission discussed the potential of adding a standard for Building Performance to the DTNW district. The district is an incentive-based, optional zoning district and enhanced building performance is a clearly articulated value in the Town. A new section has been added for Building Performance and sets a HERS rating as the measure of building performance. The specific wording may need to be further refined. Staff is still researching the best way to frame and quantify the HERS requirement.

c) Building Performance

New development in the DTNW District is required to meet minimum energy efficiency standards as follows:

- (1) All new construction and additions of 400 square feet or more within the DTNW District shall achieve a Home Energy Rating System (HERS) Index rating equivalent to a 30% or greater improvement over the minimum current applicable Code at the time of construction.***

Section 3505 – Building Design and Performance Standards

Section 3506(b)(3) regarding Restricted Building Materials has been revised to provide further clarity and further restriction on the use of Exterior Interior Finish Systems (EIFS). EIFS is a common building material but lacks durability. This material should be used in limited quantity and only in areas that are not readily accessible and thus not as easily damaged.

- (2) Exterior insulating finish systems (EIFS) installed on the ground floor or below any ground floor demarcation line is prohibited on all building façades, including those not visible from a public or private street. When located above the ground floor, EIFS may be used only as a decorative or detail element, limited to a maximum of 25% of the area of any façade.*

Section 3506 - Site Development Standards, Drive-through Facility Location and Design

The standards for Drive-through facilities are outlined in Section 3506(d). In response to discussion at the Planning Commission work session, this Section has been amended to add consideration of safe pedestrian routes to and through the site.

- (5) Drive-through facilities shall be designed to prioritize safe pedestrian circulation to the principal building and across any access points from a street or parking lot.*

Section 3506 - Site Development Standards

Section 3506 (b) provides regulation for the location and design of off-street vehicle parking. It is expected that the use of surface parking areas will be limited in the district. The design standards for surface parking include vegetative screening to block the visibility of the cars and car headlights. There will be designated access points from the parking area. There was discussion at the work session about pedestrians cutting through the screening hedges and a question if there was a way to acknowledge that pedestrian pathways between the hedges, beyond those designated, may occur over time. While this may occur, staff would not want to intentionally create more breaks in the screening that would undermine the efficacy of the screening.

CORRESPONDENCE

The correspondence that Staff has received to date related to the DTNW district is attached.

SUMMARY

Further discussion of the DTNW district is on the agenda for the November 15, 2022 work session. Chris Jennette from Camiros Ltd. will again attend to answer questions and explain concepts and standards proposed in the district. The Planning Commission is asked to make a recommendation on the Zoning Ordinance Amendment for DTNW and to provide direction on several key issues within the district.

Key Issues

- **Building Height**
- **Density**
- **Drive-through facilities**

Attachments:

Revised November 2022 text for Downtown Northwest Zoning District
Memo from Camiros Ltd.
Memo from Development Strategies
Public Meeting Notes and Sign-in sheets
Correspondence (Core Spaces)

DIVISION 30 – DOWNTOWN NORTHWEST DISTRICT

- 3500. Purpose
- 3501. Applicability
- 3502. Definitions Applicable in the DTNW District
- 3503. Permitted Uses
- 3504. Dimensional Standards
- 3505. Building Design and Performance Standards
- 3506. Site Development Standards
- 3507. Signs

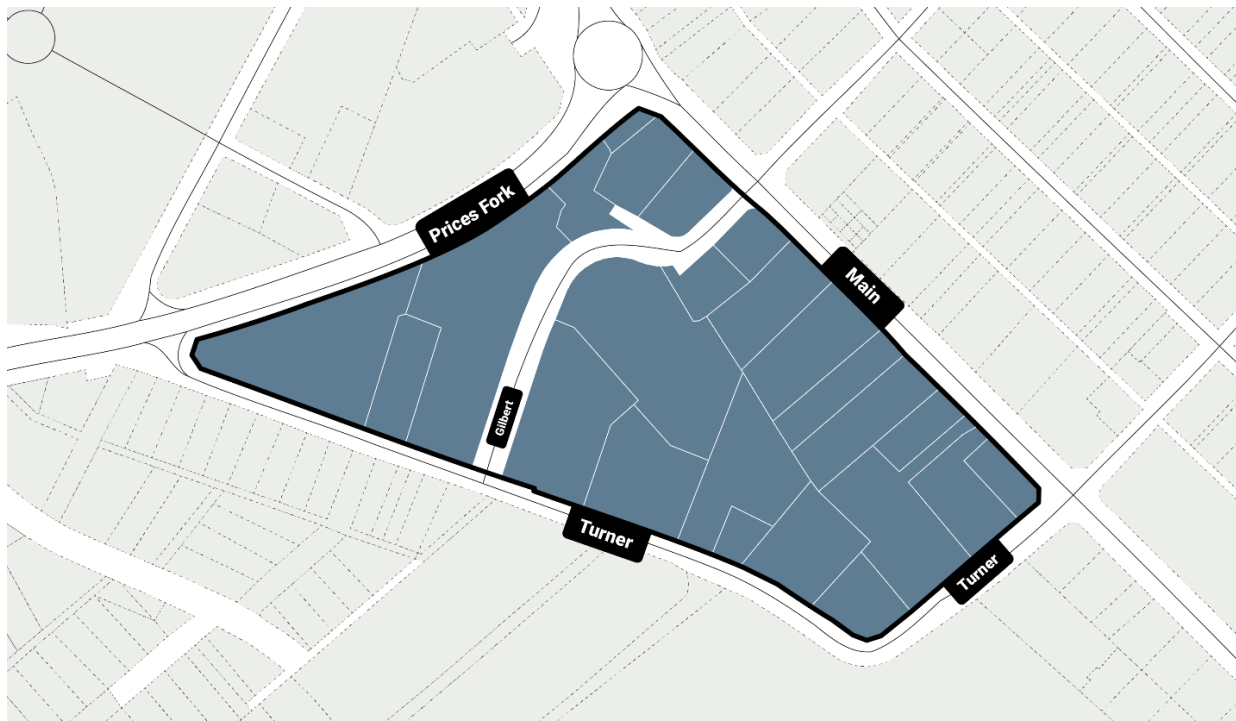
Sec. 3500 – Purpose

The Downtown Northwest District (DTNW) is a floating zone within the Downtown Commercial District that is established to provide an optional set of standards allowing for the creation of a dense, urban, well-connected, mixed-use development pattern within the triangle formed by North Main Street, Prices Fork Road, and Turner Street, commonly referred to as “Downtown Northwest,” as identified in the 2019 Downtown Strategic Plan. The DTNW District supports the creation of a vibrant, accessible, and connected urban environment through standards that address the use, scale, building placement, form, and design of development occurring within this area. District standards, applied as a whole, provide flexibility for new development to leverage density, height, and a mixture of permitted uses in exchange for high-quality design, pedestrian scale and orientation, bicycle friendliness, and sensitivity to the established character of the adjacent North Main Street corridor as well as the historic St. Luke and Odd Fellows Hall, located within the district boundary.

Sec. 3501 – Applicability

(a) The Downtown Northwest District may be applied to properties in the geographic area bounded by Turner Street NW, North Main Street, and Prices Fork Road as shown in the “Downtown Northwest District Applicability” graphic set forth below.

DOWNTOWN NORTHWEST DISTRICT APPLICABILITY



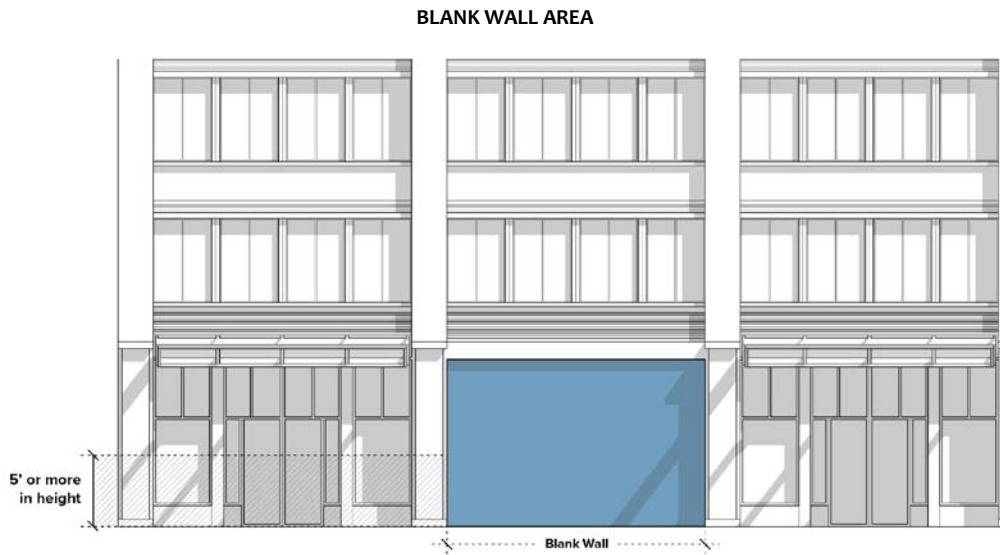
(b) Any application for a rezoning to the DTNW district shall comprise a minimum of 3.5 acres in area, and shall have a minimum of 300 feet of contiguous frontage upon at least one public street.

Sec. 3502 – Definitions Applicable in the DTNW District

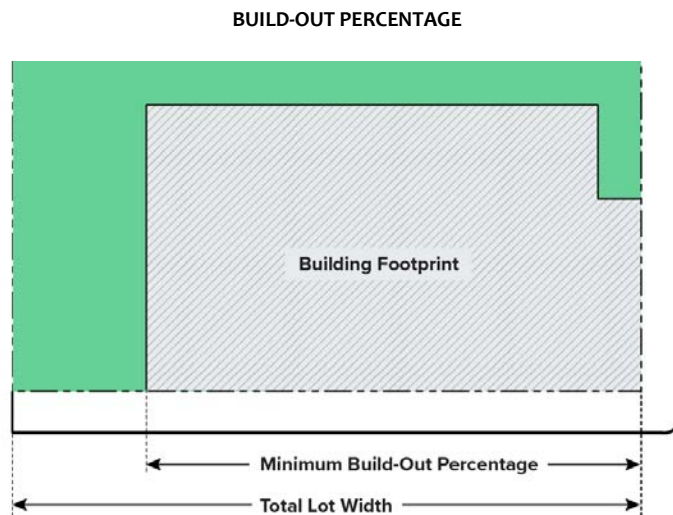
For the purposes of administering the DTNW District standards, the following definitions are established. In the case of a conflict, the definitions established in this section shall control within the DTNW District.

Bicycle Parking, Long Term. Bicycle parking spaces where bicycles can be stored within a safe and weatherproof storage area for long periods of time.

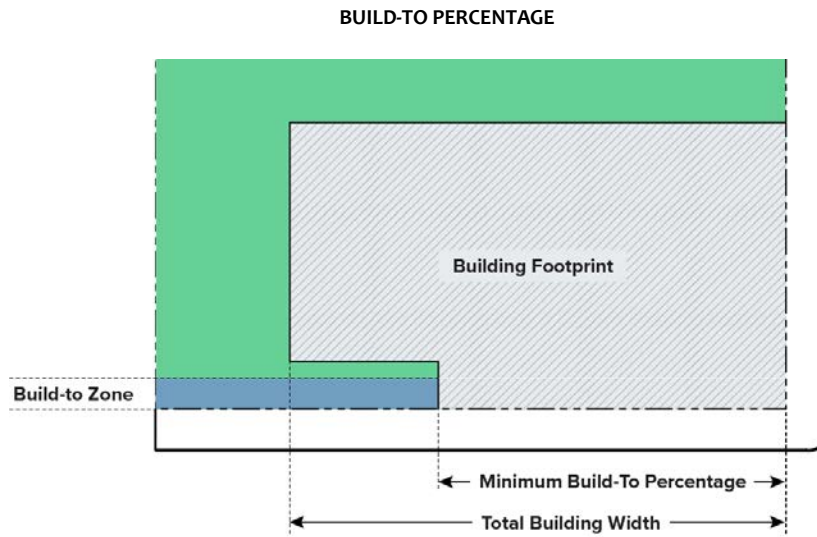
Blank Wall Area. The horizontal linear dimension of contiguous building wall that does not contain windows, doors, or decorative elements such as banding, medallions, artwork such as murals and mosaics, change in wall plane of at least three inches, or other architectural or material embellishment. Any wall less than five feet in height shall not be considered a blank wall.



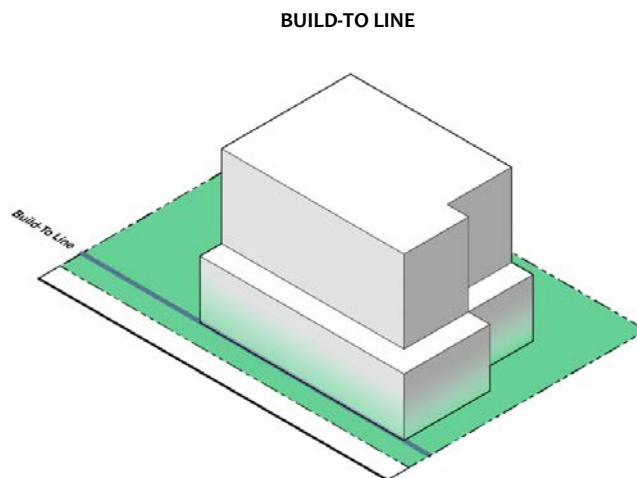
Build-Out Percentage. Build-out percentage specifies the minimum length, established as a percentage of total lot width, that shall be occupied by a building, within or beyond the build-to zone.



Build-To Percentage. Build-to percentage specifies the percentage of the total building width that shall be located within the required build-to zone.

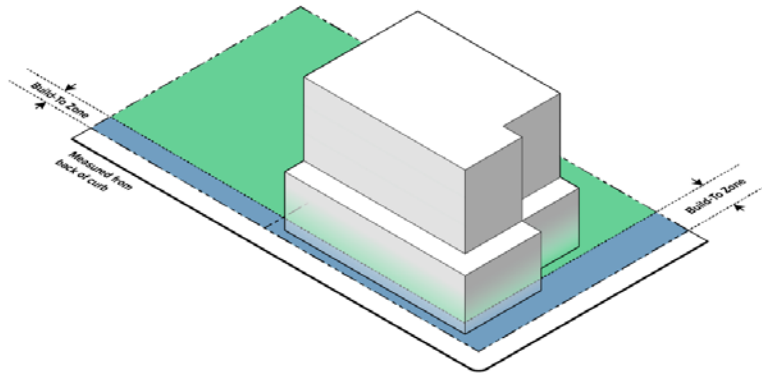


Build-To Line. A build-to line is a line on a lot establishing the required location of the front building line.



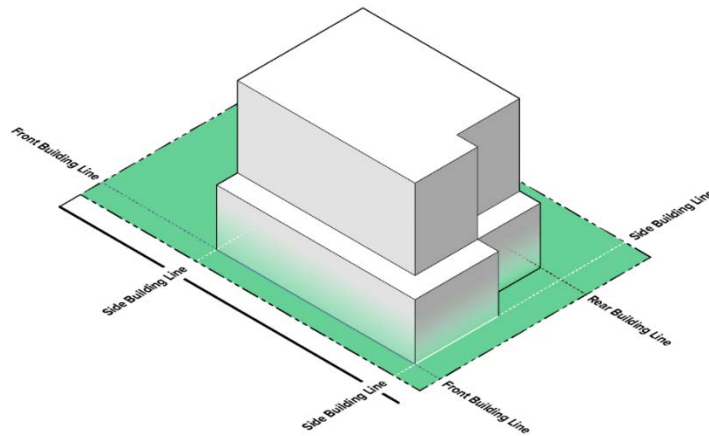
Build-To Zone. A build-to zone is the area on a lot, measured perpendicular to the front lot line and containing a minimum and maximum dimension, within which the front building line shall be located.

BUILD-TO ZONE



Building Line. A building line is the horizontal line indicating the primary edge of a building closest to the front, side, and rear property lines and extending from the physical edge of the building to the boundaries of the property.

BUILDING LINE

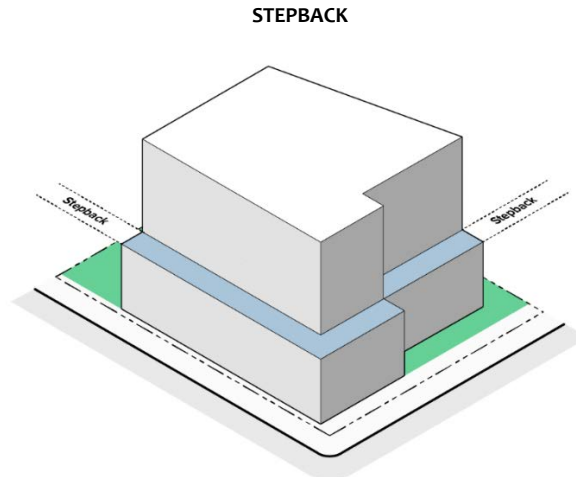


Expression Lines. Expression lines are those elements of a building façade that convey or express its structure, including but not limited to cornices, brick courses, banding, fenestration, columns, and bays.

EXPRESSION LINES



Stepback. Stepback is the additional distance that upper stories shall be recessed or set back from the façade of the stories below.



Transparency. The required amount of fenestration as a percentage of the specified façade area. Doors are included in ground floor transparency when such doors are designed with glass or other transparent materials. Garage entrances shall not be included in ground floor transparency.

(a) The following do not meet the ground floor or upper floor transparency requirements and do not count in meeting the standard:

- (1) Windows with shadowboxes on the interior
- (2) Glass block
- (3) Printed window film, signs, or posters affixed to the inside or outside of windows, regardless of whether such elements allow views into or out of the building.
- (4) Mirrored glass on the ground floor.

Sec. 3503 – Permitted Uses

(a) Table 3503-1: Downtown Northwest District Uses indicates the uses and structures permitted within the DTNW District, subject to all other applicable requirements contained in this Ordinance.

(1) Where a use is permitted by right, it is indicated as “P” within the table.

(2) Where a use is permitted with the approval of a Conditional Use Permit, it is indicated as “CUP” within the table. Uses permitted with a Conditional Use Permit are subject to the standards and procedures of Article 1, Division 8 of this Ordinance. In addition to Article 1, Division 8 of this Ordinance, approval of a conditional use within the DTNW District is subject to evaluation against the purpose and intent of the DTNW District relative to scale, orientation, context, and design quality.

(b) Use standards for each of the uses allowed in the DTNW District are detailed in the column titled “DTNW District Use Standards.”

(c) The use and design standards of Article 24 of this Ordinance do not apply to uses within the DTNW District unless specifically indicated otherwise. In the case of a conflict where the standards of Article 4 apply to a use in the DTNW District, the stricter standard shall control.

Table 3503-1: Downtown Northwest District Uses		
Use	P/CUP	DTNW District Use Standards
Residential		
Home Occupation	P	
Multifamily Dwelling <i>above the ground floor</i>	P	
Multifamily Dwelling <i>on the ground floor</i>	P	Not permitted on any frontage abutting North Main Street, or within 150 feet of the intersection of North Main Street and Turner Street NW. This does not apply to entries, lobbies, or common areas associated with any multifamily dwelling.
Civic		
Administrative Services <i>above the ground floor</i>	P	
Administrative Services <i>on the ground floor</i>	P	Not permitted on any frontage abutting North Main Street. Limited to 5,000sf GFA.
Community Recreation	P	
Club	CUP	
Cultural Services	P	
Day Care Center	P	
Educational Facilities, Primary/Secondary	CUP	
Home for Adults	P	
Post Office	P	
Public Assembly	CUP	Limited to 10,000sf GFA
Public Parks and Recreational Areas	P	
Public Recreation Assembly	P	
Religious Assembly	CUP	
Safety Services	P	
Shelter	P	
Utility Services, Minor	P	
Office		
Financial Institutions <i>without drive-through</i>	P	
Financial Institutions <i>with drive-through</i>	CUP	Subject to the standards of Sec. 3506(d).
General Office <i>above the ground floor</i>	P	
General Office <i>on the ground floor</i>	P	Not permitted on any frontage abutting North Main Street. Limited to 5,000sf GFA.
Medical Office <i>above the ground floor</i>	P	
Medical Office <i>on the ground floor</i>	P	Not permitted on any frontage abutting North Main Street. Limited to 5,000sf GFA.
Temporary offices for the management and support of a campaign for political office by a specific candidate or candidates (as defined by Code of Virginia § 24.2-101)	P	<p>1. Prior to occupancy of the office space, the campaign shall register and obtain a permit from the Administrator, which shall be valid for a period of not more than six calendar months and may not be renewed. Use of ground floor office space in the Downtown Commercial District for more than six (6) months requires a conditional use permit.</p> <p>2. Each permit shall specify the location of the temporary office, the dates of occupancy by the campaign and all necessary contact information.</p>
Commercial		
Brewpub	P	
Clinic	CUP	
Commercial Indoor Amusement	P	

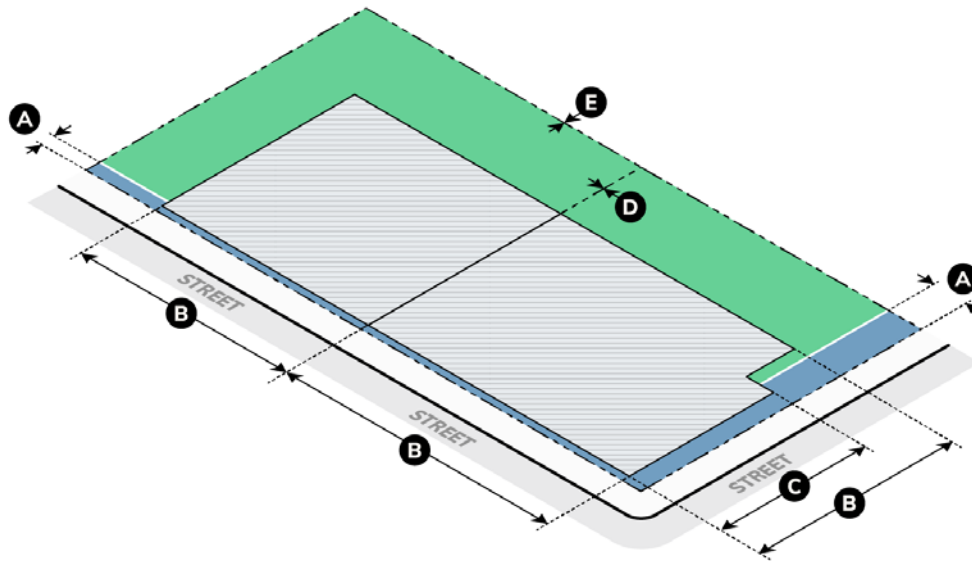
Commercial Indoor Entertainment	CUP	
Commercial Indoor Sports and Recreation	CUP	
Communication Services <i>above the ground floor</i>	P	
Communication Services <i>on the ground floor</i>	P	Not permitted on any frontage abutting North Main Street. Limited to 5,000sf GFA.
Consumer Repair Services	P	
Dance Hall	CUP	
Grocery Store (25,000sf GFA or less)	P	
Grocery Store (Larger than 25,000sf GFA)	CUP	
Hotel/Motel/Motor Lodge	CUP	Subject to the standards of Section 4528.2
Neighborhood Convenience Store	P	
Outpatient Substance Abuse Treatment Center	CUP	
Parking Facility (Structured Only)	P	Allowed on lots fronting North Main Street only when other permitted commercial uses occupy the North Main Street frontage.
Personal Improvement Services	P	
Personal Services	P	
Public Farmers Market	P	Subject to the standards of Section 4548
Restaurant, Drive-in	CUP	Subject to the standards of Section 4552, as well as the drive through facility location and design standards of Section 3506(d).
Restaurant, Fast Food	P	Subject to the standards of Section 4552.1(a)
Restaurant, General	P	Subject to the standards of Section 4553(a)
Restaurant, Small	P	Subject to the standards of Section 4555(a)(2)
Retail Sales	P	
Specialty Shop	P	
Studio, Fine Arts	P	
Veterinary Hospital/Clinic	P	No overnight boarding is permitted.
Industrial		
Laboratory	CUP	Only allowed above the ground floor when fronting North Main Street. Limited to 5,000sf GFA.
Research and Development	CUP	Only allowed above the ground floor when fronting North Main Street. Limited to 5,000sf GFA.
Miscellaneous		
Accessory Structures	P	<ol style="list-style-type: none"> 1. Accessory structures shall be permitted in association with a principal structure, provided that the area of the accessory structure shall be 25 percent or less of the gross floor area of the ground floor of the principal structure. 2. Accessory structures shall be allowed only on the same lot as the principal use or structure, or adjacent lot under common ownership, provided that access is from the lot on which the principal use or structure is located. 3. Accessory structures are not permitted within any required build-to zone, or between a principal structure and any street. 4. Retail and shipping service lockers are prohibited.
Broadcasting and Communication Facility	CUP	

Sec. 3504 - Dimensional Standards

(a) Building Siting

The following standards regulate the placement of buildings on lots within the DTNW District. Building siting standards are intended to ensure the creation of an urban development character and a walkable, pedestrian orientation in alignment with the intent of the district, while maintaining compatibility with existing downtown development.

BUILDING SITING



A	Build-To Zone¹	20-25 ft. from back of curb
B	Minimum Build-Out Percentage²	Fronting North Main Street: 80% Fronting any other street: 60%
C	Minimum Build-To Percentage	80%
D	Minimum Side Setback³	None
E	Minimum Rear Setback³	None

¹ Where the width of a public right-of-way exceeds the maximum dimension of a required build-to zone, the right-of-way line shall become a required build-to line.

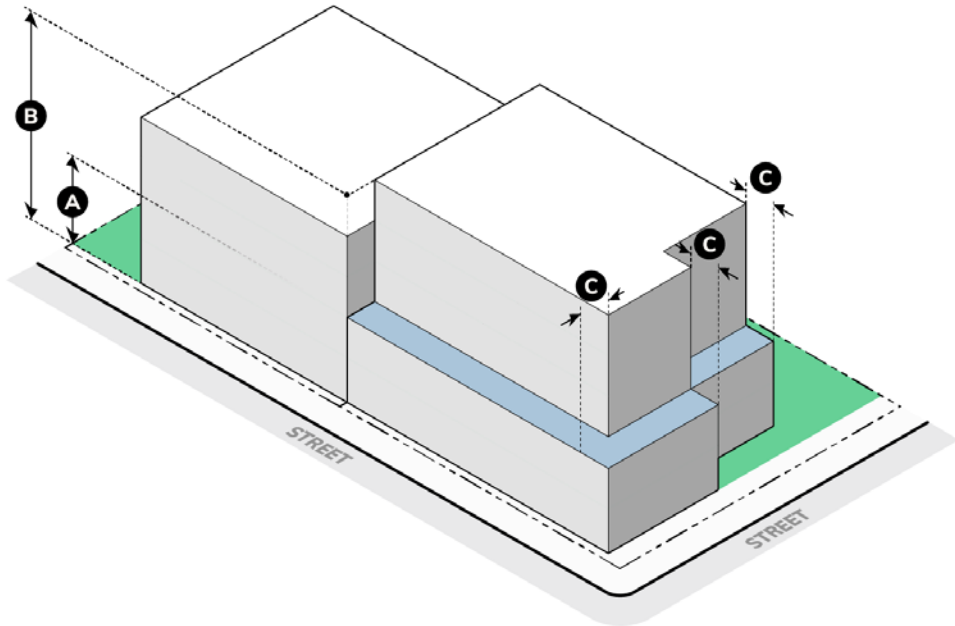
² If the minimum build-out percentage exceeds a maximum building length requirement, the maximum building length shall control.

³ A minimum setback of 30 ft. shall be provided from any lot line abutting St. Luke and Oddfellows Hall.

(b) Building Height

Building height standards regulate the minimum and maximum heights of buildings within the DTNW District. The intent of these standards is to provide flexibility for the creation of a dense, urban development pattern in the district, while ensuring appropriate transitions and sensitivity to existing downtown development.

BUILDING HEIGHT



A	Minimum Building Height <i>In the case of lots with frontages on multiple streets, the greatest minimum building height controls.</i>	Fronting North Main Street: 30 ft Fronting any other street: 18 ft		
	B	Maximum Building Height <i>Applies only to those portions of a structure within the specified distance</i>	Within 120 ft of the centerline of North Main Street	75 ft.
			121 to 250 ft from the centerline of North Main Street	105 ft.
			251 ft or more from the centerline of North Main Street	125 ft.
C	Required Minimum Building Height Stepback	10 ft.		

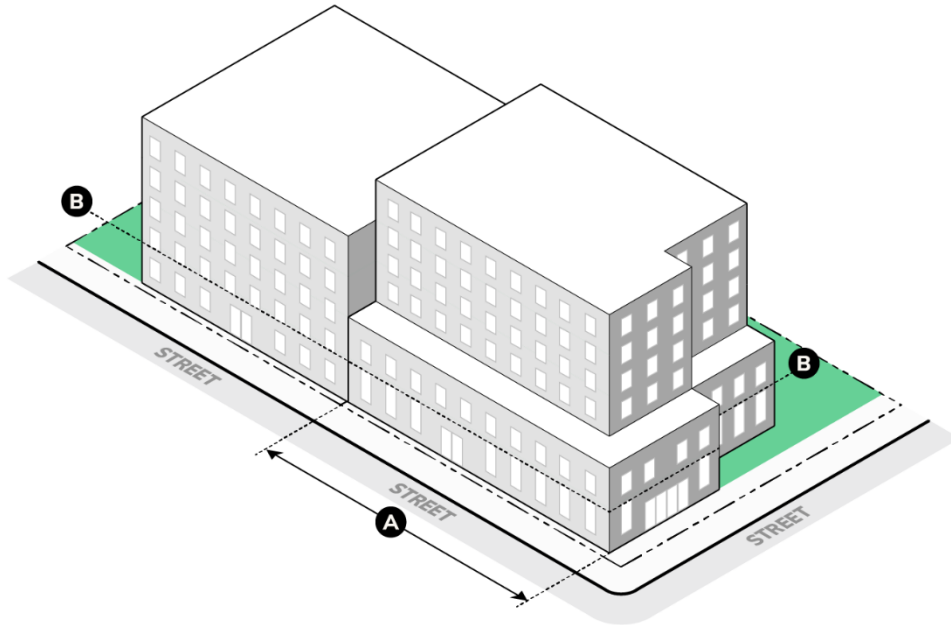
(1) Building Height Stepback

All buildings over 50 feet in height are required to provide a building height stepback. Such stepback applies to any street-facing façade of a building. Stepback shall occur above the second floor, and no higher than the fourth floor.

(c) Building Articulation

Building articulation standards regulate the dimensions of building façades to provide a consistent, comfortable pedestrian experience at ground level. Standards are intended to enhance the pedestrian scale and orientation of the urban environment within the DTNW District by addressing building massing, length, and connectivity.

BUILDING ARTICULATION



A	Maximum Building Length	300 ft.
B	Minimum Ground Floor Demarcation Line <i>This includes a cornice line, first-floor window height, bottom sill of second story windows</i>	Residential (Excluding Lobby): None Nonresidential or Mixed-Use: 14 ft.

(1) Maximum Building Length with Additional Design Features

Maximum building length may be increased to 400 feet with the inclusion of additional design features as follows:

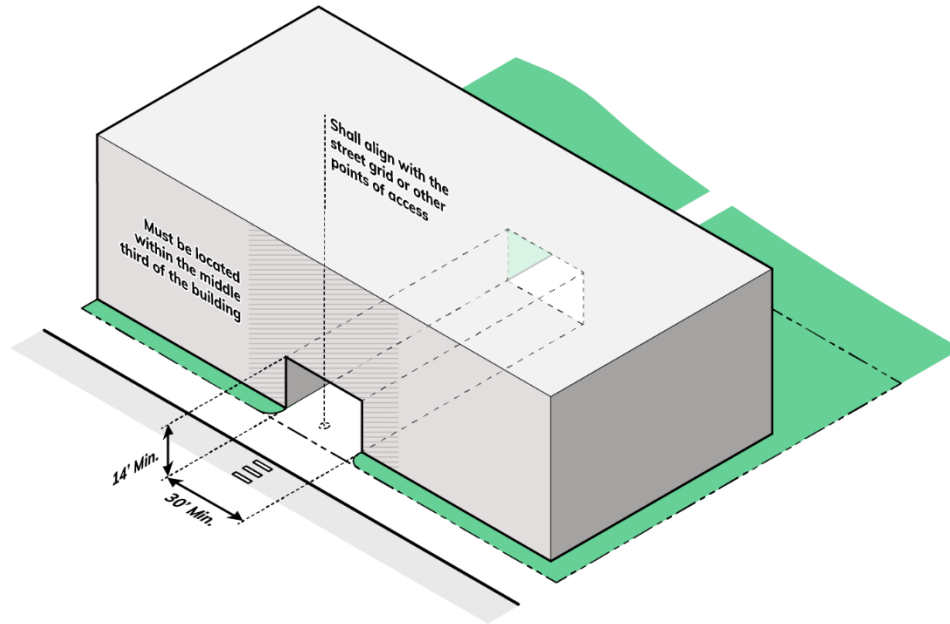
- i. Where a building abuts two parallel streets, or one street and a parking lot, public park, or other public open space on the side of the building opposite the street, a pedestrian passage may be used to achieve additional building length, to a maximum of 400 feet. Such passage shall meet the following criteria:

1. General Requirements.

- a. Passages shall be designed to accommodate pedestrians. Vehicular access and circulation shall not be allowed as a component of a passage.
- b. Passages shall be a minimum of 30 feet in width and 14 feet in height and shall be located within the middle third of the building, measured parallel to the street.
- c. Passages shall be designed to maintain views from one end through to the other. Such views shall not be obstructed by lighting or other design features.
- d. Inclusion of decorative elements such as lighting installations or public art within passages is encouraged.

- e. Passages shall align with the street grid or other points of access to sidewalks, public paths, parking lots, public parks, or other publicly owned open space where feasible.
- f. For the purposes of any build-to zone requirement, a building passage is considered part of the building façade that meets such requirement.

PASSAGE DESIGN

















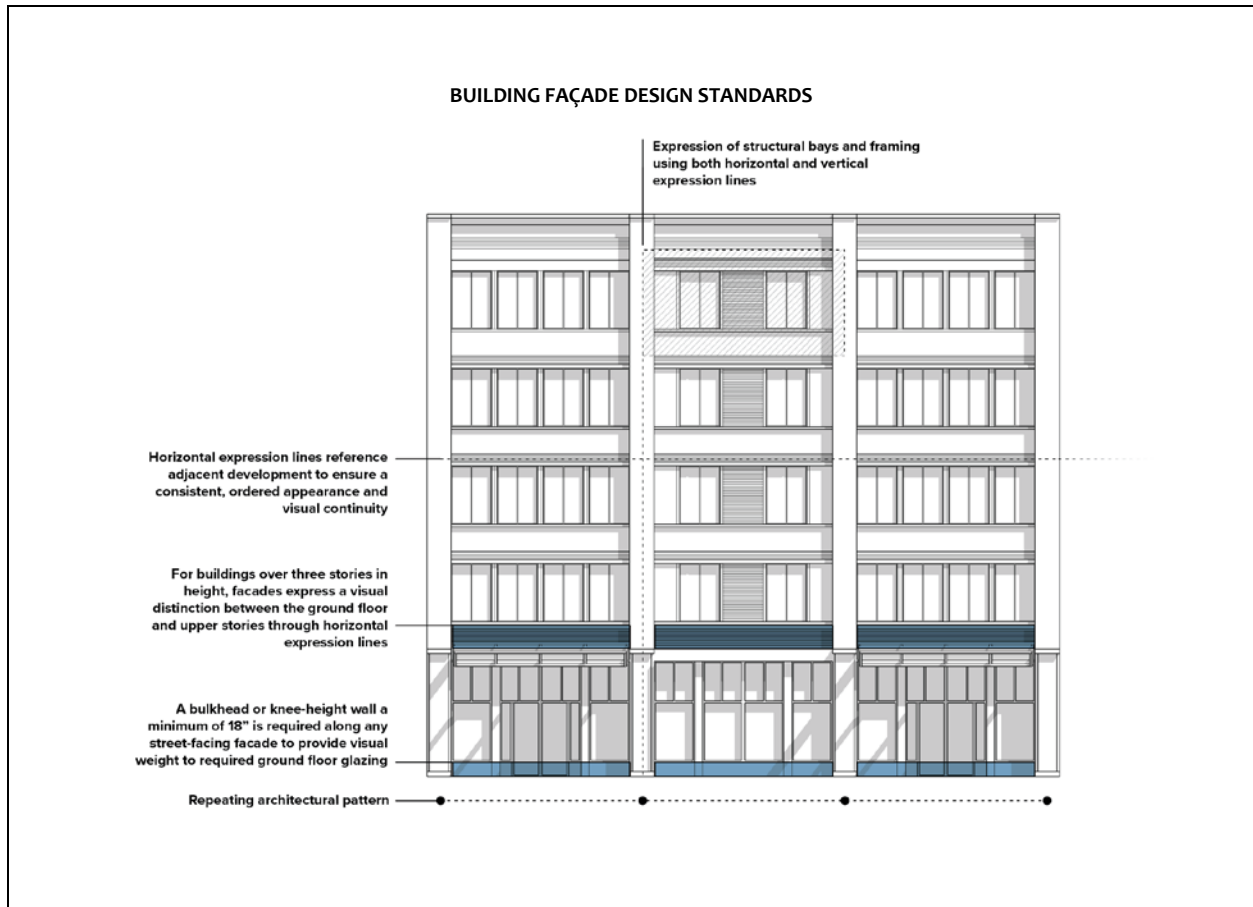
Sec. 3505 – Building Design and Performance Standards

The design and performance standards within this Section apply to all new construction and additions of 400 square feet or more to existing structures. In the case of an addition, only those standards that relate to the specific addition apply.

(a) Table 3505-1: Downtown Northwest District Design Standards, establishes the design standards applicable to frontages that abut North Main Street, and frontages abutting any other street within the District. Where a “√” is present in the table, it indicates that such standard is applicable. A blank, gray cell indicates that the standard does not apply.

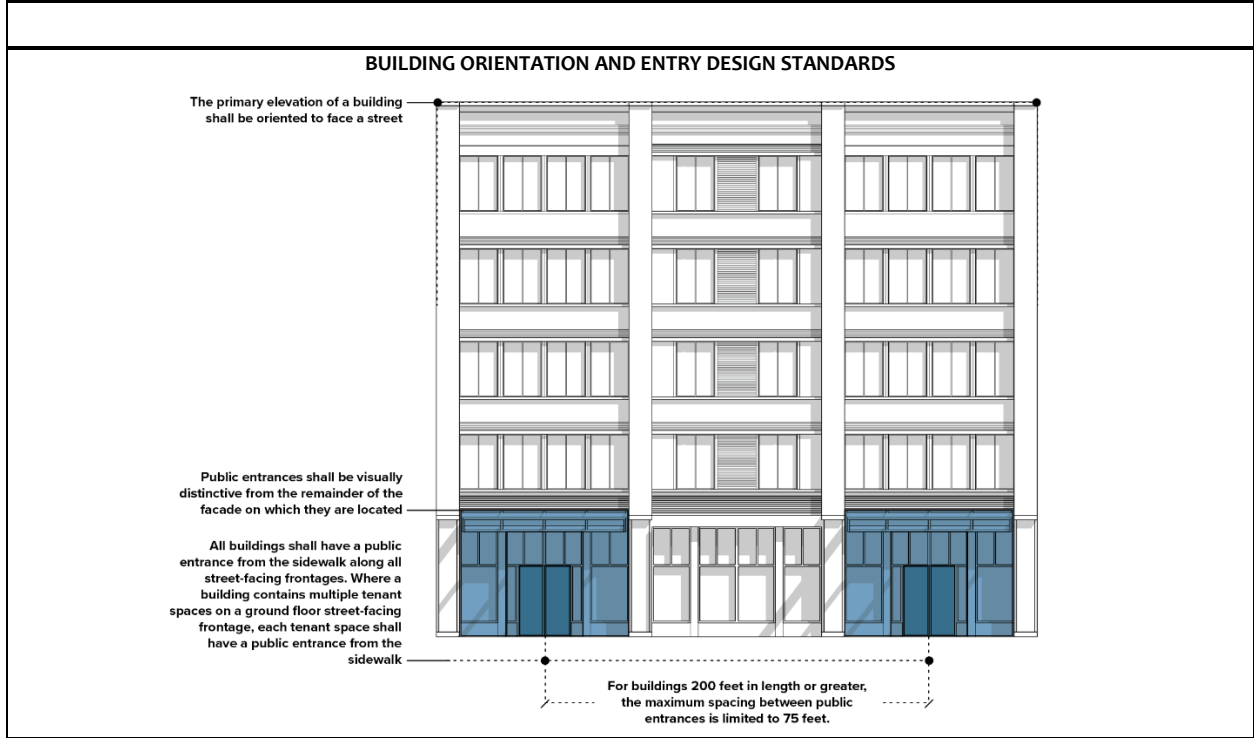
Table 3505-1: Downtown Northwest District Design Standards		
Building Façade Design	North Main Street	All Other Streets
Building façade design standards regulate various components of a building façade to reinforce the DTNW District’s focus on pedestrian experience and high-quality design through the creation of visual interest and a human scale at ground level.		
Building façades shall not contain blank wall areas that exceed 25 linear feet.	√	
Building façades shall not contain blank wall areas that exceed 50 linear feet.		√

<p>Building façades of 100 feet in length or greater shall include architectural variation incorporating a minimum of two of the following elements: color change, texture change, material change, a wall articulation change (such as a reveal, recess, offset, or pilaster), or building recesses or projections. This includes patterns made by structural components visible through glass curtain walls. Such variation shall occur at intervals to minimize the perceived mass of the building façade.</p>		
<p>Façades shall express the structural bays and framing of the building using both horizontal and vertical expression lines, to provide interest and detail to the façade. Expression lines may consist of window patterns, change of materials, cornice treatments, or other architectural elements.</p>		
<p>Horizontal expression lines shall reference adjacent development to ensure a consistent, ordered appearance and visual continuity along the face of a block. This includes patterns made by structural components visible through glass curtain walls.</p>		
<p>A bulkhead or knee-height wall a minimum of 18 inches in height is required along any street-facing façade to provide visual weight to required ground floor glazing. This standard does not apply where residential dwelling units are located on the ground floor.</p>		
<p>For buildings over three stories in height, façades shall express a visual distinction between the ground floor and upper stories through horizontal expression lines and architectural features including cornices, recesses, brick courses, or other detailing.</p>		
<p>Building materials and visual elements used on the street-facing façade shall be consistently applied to all building façades visible from a street.</p>		
<p>Arcades, galleries, colonnades, outdoor plazas, outdoor dining areas, and similar pedestrian-oriented features are encouraged to be incorporated into façades. When provided, such features shall be considered to meet any required build-to percentage.</p>		



Building Orientation and Entry Design	North Main Street	All Other Streets
Building orientation and entry design standards require that buildings within the DTNW District are oriented toward the pedestrian realm, and provide legible, predictable points of access along their frontages.		
The primary elevation of a building shall be oriented to face a street. In the case of a building with frontage on Main Street and any other street, the primary elevation shall be oriented toward Main Street.	✓	✓
All buildings shall have a public entrance from the sidewalk along all street-facing frontages. Where a building contains multiple tenant spaces on a ground floor street-facing frontage, each tenant space shall have a public entrance from the sidewalk. This standard does not apply where residential dwelling units are located on the ground floor. The Zoning Administrator may modify or waive this standard if it is determined that, due to site constraints, it is not possible to provide such entrances.	✓	✓
Where a building contains frontage on a public plaza, public entrances may be provided from the plaza. Such entrances are considered to meet the requirement for a public entrance from the sidewalk.	✓	✓
Public entrances shall be visually distinctive from the remainder of the façade on which they are located. Entrances shall contain architectural features that provide weather protection and add visual interest to the structure. All public entrances must be operable.	✓	✓

For buildings 200 feet in length or greater, the maximum spacing between public entrances is limited to 75 feet.	✓	
Where entrances to individual residential dwelling units are located on the ground floor, all such entrances shall be a minimum of eighteen inches above the grade of the adjacent sidewalk to provide a sense of privacy. This requirement may be adjusted or waived by the Zoning Administrator in the case of unique topographical conditions that preclude such designs.		✓



Window and Door Design	North Main Street	All Other Streets
Window and door design standards promote a pedestrian-oriented interface between buildings and the public realm by requiring elements of transparency that allow for visibility both into and out of buildings at the ground floor and above.		
Multifamily Development Transparency: The ground floor of a façade shall maintain a minimum transparency of 70%, measured between two and eight feet in height.	✓	
Multifamily Development Transparency: When the ground floor is occupied by dwelling units, a minimum transparency of 20% of the wall area of the story shall be maintained. When the ground floor contains a lobby or common areas associated with the dwelling, a minimum transparency of 50% shall be maintained, measured between two and eight feet in height.		✓
Nonresidential and Mixed-Use Development Transparency: The ground floor of a façade shall maintain a minimum transparency of 70%, measured between two and eight feet in height.	✓	

Nonresidential and Mixed-Use Development Transparency: The ground floor of a façade shall maintain a minimum transparency of 50%, measured between two and eight feet in height.		✓
Multifamily, Nonresidential and Mixed-Use Development Transparency: The upper floors of a façade shall maintain a minimum transparency of 20% of the wall area of each story	✓	✓

WINDOW AND DOOR DESIGN STANDARDS

Upper floors shall maintain a minimum transparency of 20% of the wall area of each story

Ground floor transparency is required between two and eight feet in height, varying by use and frontage

Roof Design	North Main Street	All Other Streets
Roof design standards ensure the creation of visual interest at the top of buildings, and mitigate impacts of reflective surfaces and/or glare into adjacent buildings.		
Flat-roofed buildings shall feature three-dimensional crowning elements such as cornices to create depth, shadow, and visual interest.	✓	✓
Reflective roof surfaces that produce glare are prohibited, except for high-albedo roofing intended to reduce building surface temperatures and heat transfer into the building.	✓	✓
Site Design	North Main Street	All Other Streets
Site design standards require consideration of pedestrian movement and connectivity both within individual sites and between adjacent development sites, as well as the creation of unified, coherent design character within multi-building development sites.		

Multi-building development sites shall establish a unified design character using common architectural features, building style, building materials, form, scale, and proportion. Such unified design shall carry through all on-site treatments including hardscape, site furnishings, and landscape.	✓	✓
Multi-building development sites shall create legible pedestrian connections between buildings, as well as through the development site using courtyards, plazas, landscape, and walkways.	✓	✓
Development sites shall provide for pedestrian movement to adjacent commercial and residential uses, facilitating connectivity and safe access between the site and adjacent uses.	✓	✓

(b) Restricted Building Materials

(1) The following building materials are prohibited on any façade visible from a public or private street (excluding alleys). However, such materials may be used as a component of construction when not a surface finish material.

- i. Plain concrete block
- ii. Wood structural panel sheathing (e.g., plywood, OSB, particleboard, etc.)
- iii. Plastic
- iv. Vinyl

(2) The following building materials may be used only as decorative or detail elements, limited to a maximum of 25% of the area of each façade visible from a public or private street (excluding alleys). This maximum area may not be combined to achieve more than 25% coverage on any façade. However, such materials may be used as a component of construction when not a surface finish material.

- i. Mirrored glass installed on the ground floor or below any required ground floor demarcation line.
- ii. Mirrored glass installed above the ground floor or any required ground floor demarcation line, unless such mirrored glass is designed to be bird safe. Bird-safe glass is specially designed to make glass a visible obstacle to birds and includes approaches such as fritting, silk-screening, or ultraviolet coating. Patterns shall break up the reflectivity of the glass and be spaced two inches apart horizontally and four inches apart vertically.
- iii. Metal panels, unless they meet the following requirements:
 - 1. Metal panels (flat, textured, corrugated, batten, box rib, etc.) whether standalone, composite, or part of a layered or insulated panel, shall be permitted provided they are part of a complete, manufacturer warrantied cladding system, including integral anchorage to structural supports. Steel panels shall be minimum US Standard 26 gauge.

(3) Exterior insulating finish systems (EIFS) installed on the ground floor or below any ground floor demarcation line is prohibited on all building façades, including those not visible from a public or private street. When located above the ground floor, EIFS may be used only as a decorative or detail element, limited to a maximum of 25% of the area of any façade.

(c) Building Performance

New development in the DTNW District is required to meet minimum energy efficiency standards as follows:

(1) All new construction and additions of 400 square feet or more within the DTNW District shall achieve a Home Energy Rating System (HERS) Index rating equivalent to a 30% or greater improvement over the minimum current applicable Code at the time of construction.

Sec. 3506 – Site Development Standards

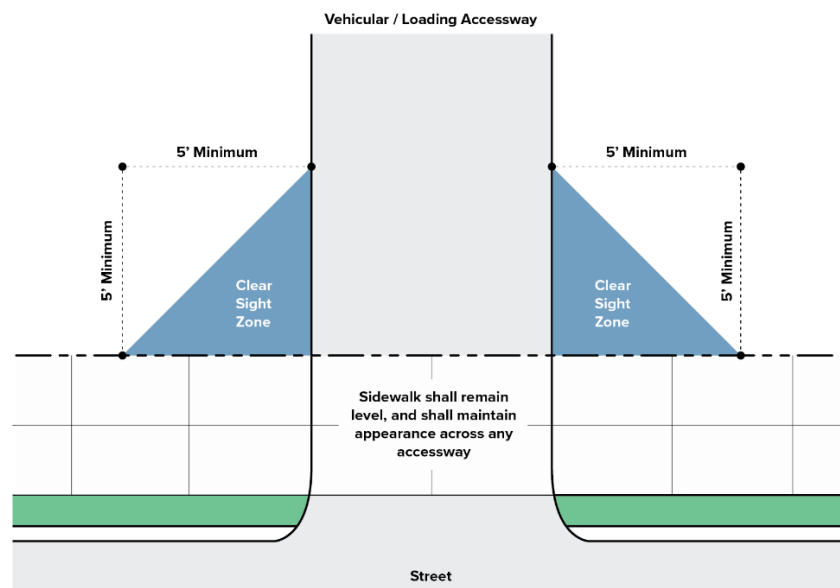
(a) Off-Street Vehicle Parking

- (1) There is no minimum number of parking spaces required for allowed uses in the DTNW District.
- (2) When parking is provided within the DTNW District, it shall be subject to the parking maximums established in Section 5220 of this Ordinance. Parking maximums for nonresidential uses are included in Section 5220(b), and may only be exceeded if meeting the requirements of Section 5220(d).
- (3) Multifamily dwellings in the DTNW District are not subject to parking maximums.

(b) Location and Design of Off-Street Vehicle Parking

- (1) No surface parking, and no drive aisles parallel or roughly parallel to a street may be located between the principal building and any lot line abutting a street.
- (2) Vehicular and loading access shall be taken from rear alleyways. This includes access to structured parking facilities. Where alleys do not exist, vehicular and loading access may be taken from a street. In such cases, the following standards apply:
 - i. Vehicular and loading accessways shall be clearly marked, and shall accommodate a five foot by five foot clear sight triangle to either side of the accessway. Alternatively, exiting detectors may be used in place of a vehicular clear sight triangle if detectors provide signals to both pedestrians and vehicles exiting a structure.
 - ii. Where vehicular and loading accessways cross a sidewalk, such sidewalk shall remain level, with no change in cross-slope. The appearance of the sidewalk, such as scoring pattern or any special paving, shall be maintained across the accessway to indicate that, although a vehicle may cross, the area remains part of the pedestrian way.

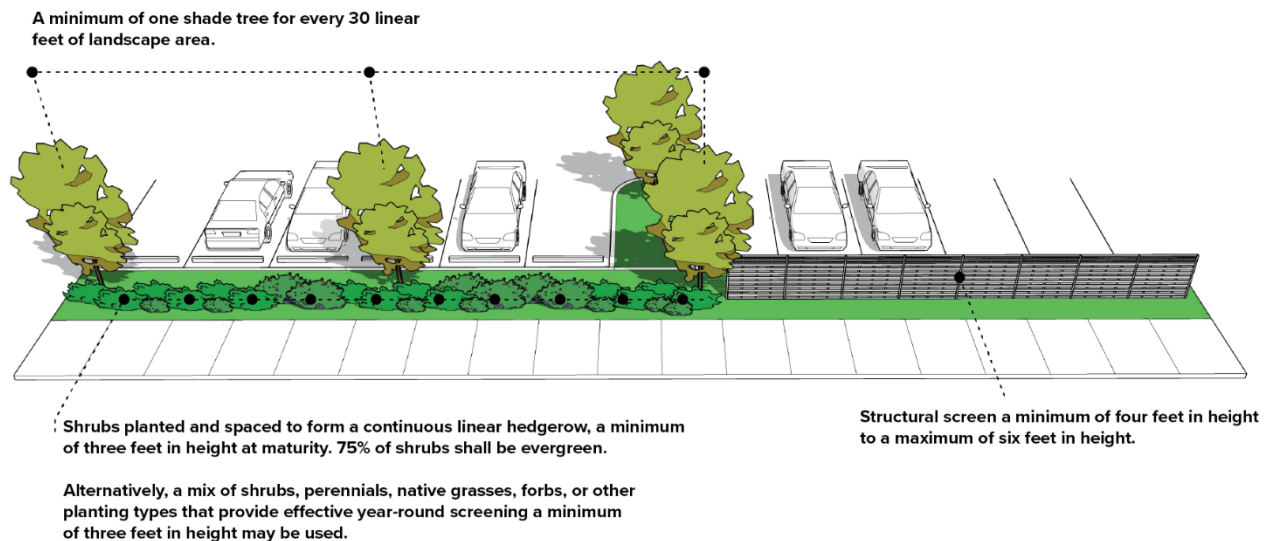
VEHICULAR CLEAR SIGHT TRIANGLE



- (3) Surface parking lots are discouraged within the DTNW District. Where visible from a street, surface parking lots shall be screened to provide a comfortable pedestrian environment by softening the visual impact of parked vehicles, providing a buffer against glare from headlights, and establishing a landscaped edge at the back of sidewalk. Screening shall be provided as follows:

- i. The standards of Sec. 5427 apply to surface parking lots within the DTNW District unless modified by this section. In the case of a conflict, the stricter standard shall control.
- ii. Surface parking lots shall be screened by a landscaped area a minimum of 10 feet in width meeting the following standards:
 1. Shrubs shall be at least two feet in height at time of planting with an average height of three to four feet expected as normal growth within four years. However, such shrubs shall not exceed four feet in height at maturity. Shrubs shall be planted and spaced sufficiently to form a continuous linear hedgerow at maturity. A minimum of 75 percent of the shrubs planted shall be evergreen species to ensure effective year-round screening.
 - a. Alternatively, a mix of shrubs, perennials, native grasses, forbs, or other planting types that provide effective year-round screening may be used. Such plantings shall provide effective screening to a height of two feet at time of planting, and shall attain an average height of three to four feet expected as normal growth within four years. Such planting shall not exceed four feet in height at maturity.
 2. A minimum of one shade tree shall be planted for every 30 linear feet of landscape area. Trees may be spaced in a linear fashion on-center, or may be grouped to complement a design concept. Species shall be selected from the Town's list of recommended tree species (Sec. 5429), and shall meet the standards of Sec. 5420 and Sec. 5429.
- iii. Alternatively, surface parking lots may be screened by a structural element such as a wall or fence that is architecturally and materially consistent with the principal structure. Such structural screen shall be a minimum of four feet in height, and no more than six feet in height, and shall be subject to the provisions of Blacksburg Town Code Section 21-304, "sight triangles established."

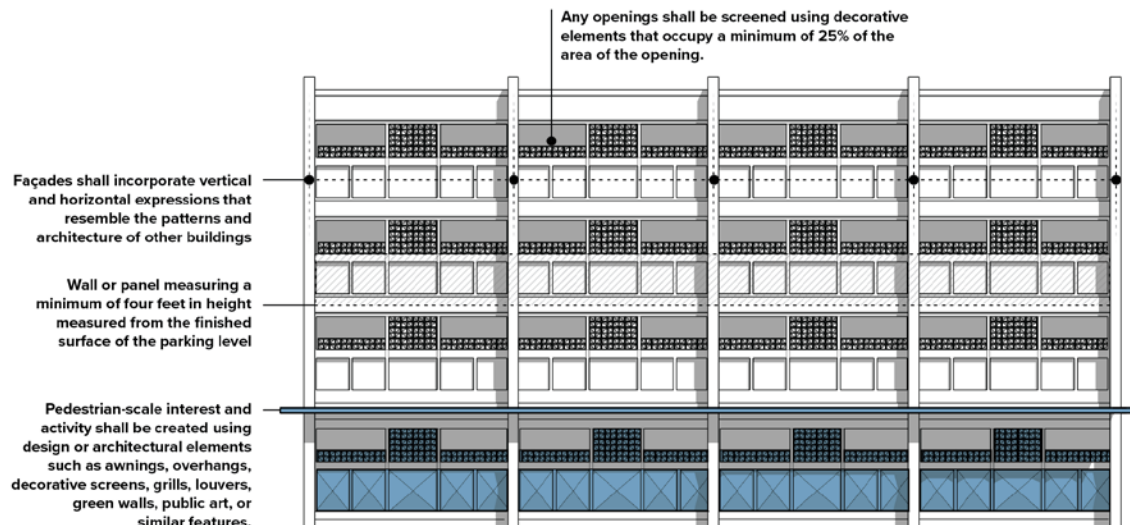
SURFACE PARKING LOT SCREENING



- iii. The Zoning Administrator may modify these screening standards in the following circumstances:
 1. Innovative landscaping or architectural design is employed on the building site to achieve an equivalent screening or buffering effect.

2. The required screening would be ineffective due to the proposed topography of the site and/or the location of improvements on the site.
- (4) Structured parking is not permitted on the first floor of any building frontage abutting North Main Street, or any building frontage abutting Turner Street NW within 150 feet of the intersection of North Main Street and Turner Street NW. All structured parking located on the ground floor on these frontages shall be screened behind usable interior space measuring a minimum of 30 feet in depth.
- (5) Structured parking visible from a street shall be screened as follows
 - i. On the ground floor of a building façade, where indoor usable space, ingress/egress points, and/or mechanical equipment are not present, pedestrian-scale interest and activity shall be created using at least three design or architectural elements such as awnings, overhangs, decorative screens, grills, louvers, green walls, public art installations, or similar features.
 - ii. Parking structures shall be designed to ensure that vehicles parked on all levels of the structure, as well as all interior lighting, are effectively screened by a wall or panel measuring a minimum of four feet in height measured from the finished surface of the parking level.
 - iii. Façades shall incorporate vertical and horizontal expressions that resemble the patterns and architecture of other buildings within a multi-building development, including use of similar materials and a similar pattern of fenestration openings. Any openings shall be screened using decorative elements such as grillwork, louvers, green walls, public art installations, or similar features that occupy a minimum of 25% of the area of the opening. This standard shall also apply to freestanding parking structures that are not within a multi-building development, in which case the façade shall incorporate the patterns and architecture of adjacent or surrounding buildings.
 - iv. For parking structures that include rooftop open-air parking, a parapet wall a minimum of four feet in height measured from the surface of the roof is required.

STRUCTURED PARKING SCREENING



(c) Bicycle Parking

Bicycle parking is a fundamental required element of the DTNW District, and shall be given appropriate consideration from the initial stages of project development. Bicycle parking is required for uses within the DTNW District as follows:

- (1) Bicycle parking is required per Section 5213 of this Ordinance.

(2) A percentage of the bicycle parking required per Section 5213 must be designed as long-term bicycle parking. All long-term bicycle parking spaces shall be located indoors or beneath a full permanent cover such as an overhang, covered walkway, or outdoor bicycle locker. Where long-term bicycle parking is not located within a building or a locker, any cover used to meet this standard shall be of permanent construction and able to withstand rainfall, snow, or other inclement weather conditions. Any covered area shall maintain a minimum vertical clearance of seven feet from grade to the bottom of the cover.

(3) Long-term bicycle parking spaces are required in accordance with the following:

- i. Residential units: 60% of bicycle parking spaces required per Section 5213 shall be long-term spaces.
- ii. Commercial retail: No long-term spaces required.
- iii. Civic, office or any other use not listed above: No long-term spaces required.

(4) The Zoning Administrator may approve alternative compliance with the requirements for long-term bicycle parking spaces upon finding that a modification would be consistent with the purpose and intent of this Section, and the purpose and intent of the Town's Comprehensive Plan. Alternative compliance with these requirements must be approved at the time of rezoning to the Downtown Northwest District.

(d) Drive-through Facility Location and Design

Drive-through facilities are allowed within a limited area of the DTNW District, and are subject to Sec. 5230 of this Ordinance, as well as the following standards.

(1) Drive-through facilities are permitted only on lots fronting Turner Street NW within 350 feet of the intersection of North Main Street, measured parallel to the curb line. When located within the first 200 feet of the intersection of North Main Street, drive-through facilities are only permitted for drive-in restaurants located on the ground floor of a multi-story mixed-use building.

(2) Drive-through facilities, including any required stacking spaces and drive-through lanes, shall not be located between the principal building and any lot line abutting a street.

(3) Building façades adjacent to any drive-through lane shall be articulated to ensure visual interest through variation in depth, direction, and design elements. Such façades shall include architectural elements and materials consistent with the overall design of the structure, and should use landscape elements, green screens, art installations, and similar features to soften the appearance of blank walls.

(4) Any drive-through facility adjacent to a street, including stacking spaces and drive-through lanes, shall be screened in accordance with the standards for the screening of off-street parking lots (3506(b)(3)).

(5) Drive-through facilities shall be designed to prioritize safe pedestrian circulation to the principal building and across any access points from a street or parking lot.

(e) On-Site Open Space

On-site open space is required within the Downtown Northwest District. Such open space is intended to provide opportunities for gathering and enjoyment while maintaining the district's unique urban character, and may be designed as public open space, common open space, or private open space as established in item (1) below.

(1) On-Site Open Space Required

- i. New development within the DTNW District is required to provide on-site open space, except for development on sites of one-half acre or less in size.
- ii. Driveways, parking areas, bicycle parking areas, above ground utility areas, mailboxes, and required screening or buffer areas shall not be counted toward on-site open space requirements.

iii. Development shall provide a minimum amount of on-site open space as follows:

	Lots Fronting North Main Street	Lots Fronting Any Other Street
Total On-Site Open Space Required	5% of lot area	10% of lot area
Civic, Office, and Commercial Development	50% of total required on-site open space shall be public open space. The remaining 50% may be designed as public open space, common open space, or any combination thereof.	
Mixed-use Development	25% of total required on-site open space shall be public open space. The remaining 75% may be designed as public open space, common open space, or any combination thereof.	
Residential Development	N/A	100% of total required on-site open space shall be designed as private open space, common open space, or any combination thereof.

(2) Design of On-Site Open Space

- i. On-site open space is classified into three categories within this Section:
 - 1. Common Open Space: Open space maintained for the shared use of residents and/or tenants of a development.
 - 2. Private Open Space: Open space reserved for the sole use of the occupant of the associated dwelling unit or tenant space.
 - 3. Public Open Space: Open space maintained for the use of the public. Public open space may include plazas, parks, and public seating areas.
- ii. Required open space shall meet the design requirements of Table 3506-1: Design of On-Site Open Space. Where a “√” is present in the table, it indicates that such standard is applicable to the indicated type of open space. A blank, gray cell indicates that the standard does not apply.

(3) Exemptions from Required On-Site Open Space

- i. The following uses are not required to provide on-site open space: public parks and recreational areas, minor utility services, and safety services.
- ii. The Zoning Administrator may waive the requirement for public open space, or may waive the requirement for all on-site open space if they determine it is incompatible with the nature of the use.

Design Requirement	Public	Private	Common
Open space shall be located outdoors or in the open air (under a roof, canopy, or screened).	√	√	√
Open space may be located on the ground, or on decks, galleries, porches, terraces, patios, or roofs.	√	√	√

Open space may be located on balconies.		✓	
Open space shall have a minimum dimension of ten feet on each side.	✓	✓	✓
When located on a balcony, porch, deck, or roof, open space shall have a minimum dimension of ten feet on one side and seven feet on the other.		✓	
A minimum of 25% of total required open space area shall be contiguous.	✓		✓
Open space may abut a parking lot on one side only.	✓	✓	✓
Open space shall be located a minimum of 15 feet from loading spaces or service areas.	✓	✓	✓
When located at ground level, the required open space area shall be substantially covered in a combination of at least two of the following: 1) grass and groundcover; 2) shrubs and trees; or 3) usable outdoor hardscape features, such as courtyards, seating areas, patios, fountains/water features.	✓	✓	✓
Circulation within the open space area shall connect pedestrians to rights-of-ways that abut the open space, entrances to adjacent buildings, and any design features, such as seating areas. Circulation paths are considered part of open space.	✓		
Outdoor amenities, such as grills, pools, tennis courts, or playgrounds, are permitted as part of the required open space		✓	
Where possible, open space should be connected to abutting public parks and greenways in coordination with Blacksburg Parks and Recreation.	✓	✓	

Sec. 3507 – Signs

The character of the Downtown Northwest District – a dense, urban, well-connected, mixed-use area encouraging variety in architectural forms – requires special consideration to ensure that signs within the district reinforce and complement its unique orientation. Signs within the district may require additional flexibility to meet the needs of this type of development, anticipated to include a mix of sign types such as individual tenant signs in multi-tenant buildings, building-mounted signs, monument signs, and others. To ensure that signs in the DTNW District complement the intent and character of the district, the following is required.

- (a) Creation of a special signage district is required, in accordance with Section 5540 of this Ordinance.
- (b) Application for a special signage district, in accordance with Section 5540(d) shall be reviewed and approved concurrently with a rezoning to the Downtown Northwest District.

**Town of Blacksburg
Downtown Northwest District | Height Proposal & Comparisons**

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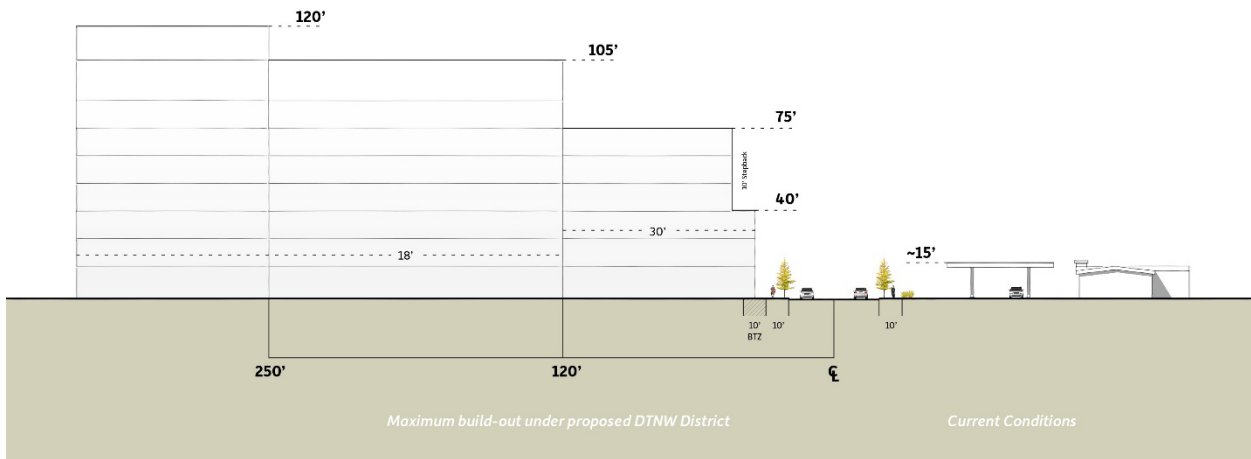
District Proposal:

Height is proposed as a gradation, to soften the effect on the Main Street corridor and to allow for greater height toward the “back” of Main Street. Heights are proposed to increase from a maximum of 75 feet within 120 feet of the centerline of Main Street, to a maximum of 125 feet when located more than 250 feet from the centerline of Main Street.

Maximum Building Height <i>Applies only to those portions of a structure within the specified distance</i>	Within 120 ft of the centerline of North Main Street	75 ft.
	121 to 250 ft from the centerline of North Main Street	105 ft.
	251 ft or more from the centerline of North Main Street	125 ft.

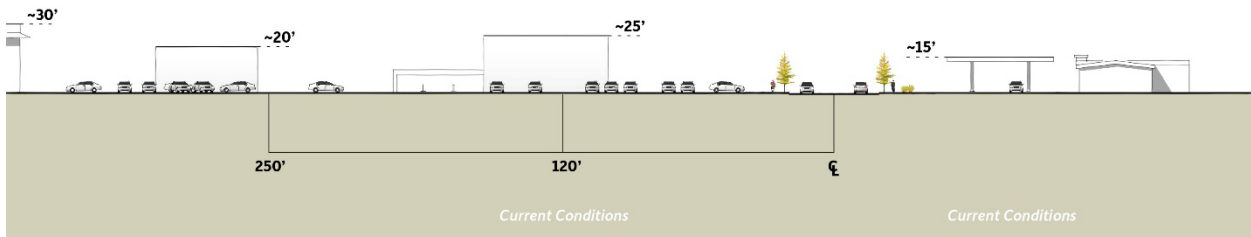
Buildings over 50 feet in height are also proposed to be subject to a minimum “stepback” requirement, which applies to any street-facing façade of a building, and requires an additional 10 feet of setback for the upper stories of a building that is over 50 feet in height. Such “stepback” is required to occur above the second floor, but no higher than the fourth floor.

An example of how these proposed heights could be built-out is included below, at scale with the Main Street corridor, and existing adjacent development.



Current Conditions:

Currently, at the corner of Main Street and Turner Street, there are significant setbacks and a lack of height, as illustrated in the image below. The proposed height for the DTNW District is intended to allow for the creation of a more urban environment, with buildings that achieve greater heights, while also maintaining a sensitivity to the character of the Main Street corridor.



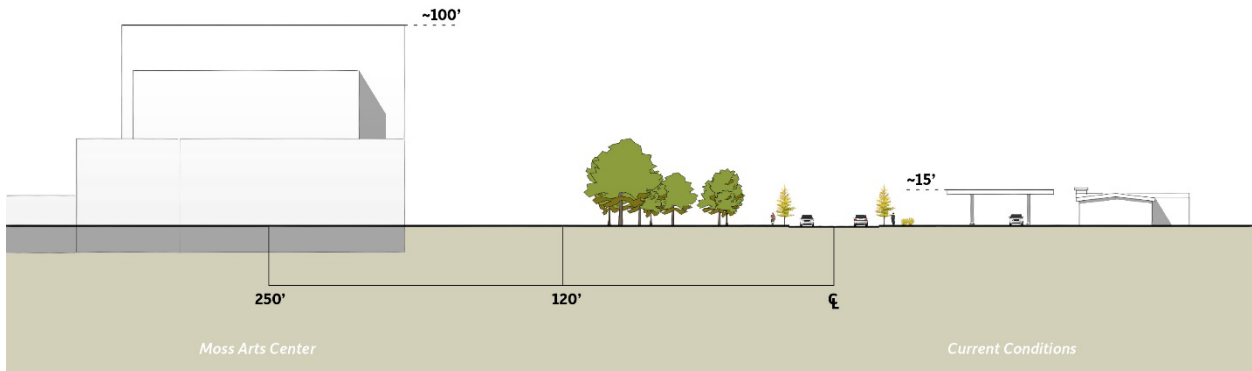
Comparisons:

The Main Street corridor is already home to buildings that achieve significant height, including the Brownstone and the Moss Arts Center, which reach heights of approximately 55 feet and 100 feet, respectively. The Brownstone, as shown in the diagram below (standing in the place of the proposal), rises to its maximum height with no building setback, creating what feels like a more narrow public realm along the corridor, and amplifying the perception of the building's height relative to the pedestrian.

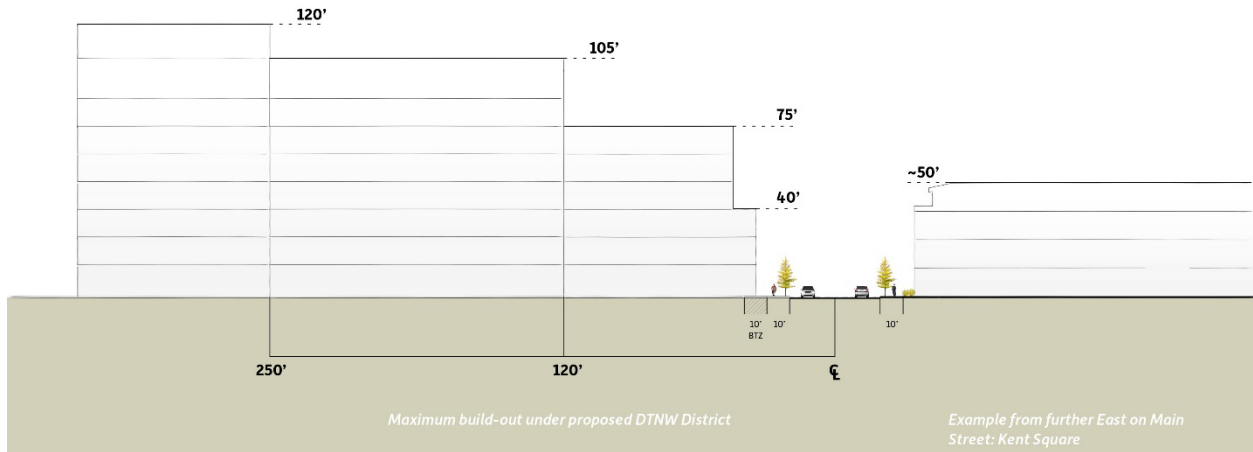


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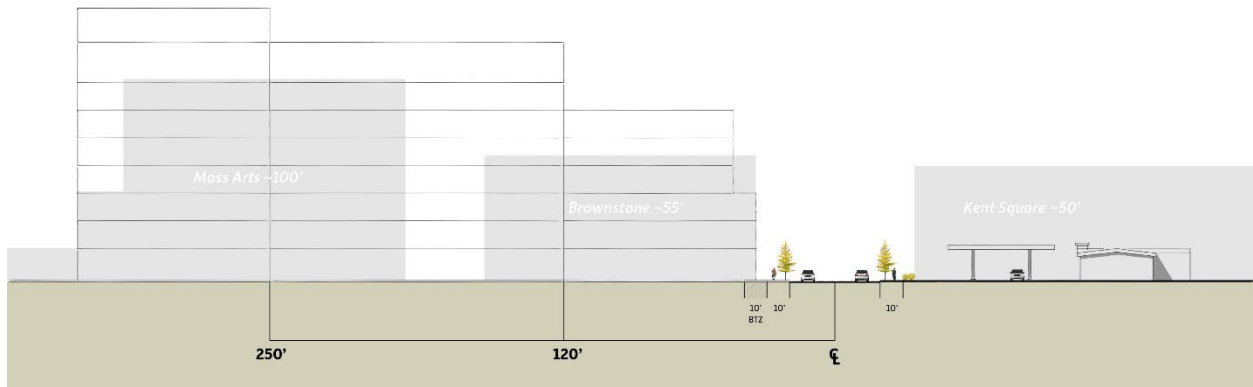
The Moss Arts Center is approximately 100 feet tall at its highest point, located just across Turner Street from the proposed Downtown Northwest District. As shown below, the building's setback (falling between the 120' and 250' thresholds within the proposal) helps to attenuate the perceived height of the building, which is also set below grade at its lowest point.



The proposed heights within Downtown Northwest allow for the District to accommodate the type of dense, urban development envisioned in the Downtown Strategic Plan, and to leverage this flexibility to achieve high-quality urban development, prioritizing the pedestrian experience at street level. Below, we can see the proposed heights in the context of another building from further East on Main Street – Kent Square. In the context of existing urban development along the corridor, the proposed heights coordinate nicely, and the experience of a pedestrian at street level - including perception of height - is similar.



Further, when comparing the massing achievable under the proposed heights for the Downtown Northwest District with existing development along the corridor holistically – as in the image below - we can begin to see that there is precedent for this type of massing, and for this type of height to be achieved at distances from the centerline of Main Street that are similar to those within the proposal.



MEMORANDUM

To: Matt Hanratty, Assistant to the Town Manager

From: Matt Wetli, AICP and Justin Carney, AICP

Date: November 8, 2022

Re: Density Considerations for Downtown NW District

As part of the implementation of the Downtown Northwest District plan, the Town of Blacksburg is considering a floating zoning district and eventual developer RFP to redevelop significant portions of the Downtown NW District. Key components of the floating zoning district focus on design standards to allow and incentivize a developer to create a project that advances the goals of the Downtown and District plans, meets the needs of the Town, and creates a financially viable project. The floating zoning district allows for a variety of uses, including student housing, and design standards that promote walkability, vibrancy, and density that is appropriate for the Downtown NW District. As the firm responsible for creating the District plan, and now supporting the Town in an advisory role as it implements the plan, Development Strategies was asked to offer some perspective on how density is considered in the proposed floating zoning district.

When considering floating zoning districts, it is not uncommon for the regulations to incorporate specific standards that focus on the “look and feel” of development—the mix of allowable uses, standards for the pedestrian realm, and the overall scale of a project—rather than a specific density calculation. Where many conventional zoning districts start with some base/underlying density calculation (e.g., 1 dwelling per acre, 8 units per acre, or 60 units per acre), a floating zoning district uses design standards such as building heights, building height step-backs, floor area ratios, and lot coverage percentages as a means for controlling the overall building mass on a site. Practically speaking then, density is regulated by the amount of building allowed on the site, rather than a density calculation. Even without a firm density calculation, the site can only hold so many dwelling units, because market demand will require the developer to offer units of certain sizes. Thus, the focus with the floating zoning district is on the overall experience of place rather than the number of dwelling units within the envelope of the building.

While a focus on form, design, massing and the overall experience of place can have significant benefit for the redevelopment of the Downtown NW District, it can also be challenging for officials and members of the public who are used to seeing a standard density calculation. Additionally, while density of traditional housing

is discussed in terms of units per acre, purpose-built, high-density student housing is considered by the number of bedrooms offered in each unit. Using the design standards in the proposed Downtown NW floating zoning district, and given current market demand for certain sizes and amenities of student housing, it is possible to estimate the number of beds that could be expected for a mixed-use, high-density, student housing-focused project. **An estimated density of between 200 – 240 beds per acre is possible, and will provide a feasible project for the developer while also creating a project that offers the community benefits that the Town desires in the Downtown NW District.**

We believe the density allowed by the Downtown NW floating zoning district is reasonable and appropriate for the District. The Downtown plan called out the Downtown NW District as a location for denser, mixed-use development, including student housing, with a focus on walkability and vibrancy. In fact, the Downtown NW District was considered to be the optimal location for student housing for a number of reasons, including being adjacent to campus with no other adjacent neighborhoods. By providing such housing at higher densities in this location, it takes the market pressure off of providing it in other, less appropriate, districts in Downtown.

Further, having a floating zoning district with a focus on form and design standards helps ensure that the Town gets a development that supports and enhances the vibrancy, walkability, and dynamism of Downtown. While there are many other mechanisms that will naturally constrain the practical density on the site—including the size of the site, the allocation of parking and landscaping, the Building Code, design guidelines in the floating zoning district, and the marketability of the project—having a floating zoning district with well-crafted design guidelines is critical to getting a high-quality project that delivers on quality architecture and urban form, with meaningful public space and pedestrian amenities.

By focusing on building form, height, and massing rather than density, it focuses the developer, officials, and the public on the elements of a project that are most visible and most impactful. Rather than focusing on what happens inside the building envelope, attention gets paid to how people experience the place within the Downtown NW District. By allowing high-density student housing, the developer is able to deliver a project to the Town that improves the street grid and connectivity; improves the streetscape and walkability of Downtown; includes meaningful public space; and promotes architectural elements that are inviting and appropriate for Downtown. To help visualize this, we have attached five examples of mixed-use residential buildings located in Charleston, South Carolina at the end of this memo. These projects feature significant density housed in six to ten stories. Please note, these examples report the number of dwelling units per acre. The estimated density included earlier in this memo focuses on student housing, which generally is reported as beds per acre.

Date November 8, 2022
RE: Density Considerations for Downtown NW District

It is our recommendation that the Town adopt the Downtown NW District floating zoning district. We believe that the focus on form and design guidelines is appropriate and necessary for the Town to achieve the goals set forth for the Downtown NW District, and that a practical density of 200 – 240 beds per acre is reasonable and results in a viable project that also provides the Town with important community benefits.



Morrison Yard
380 Units
6 acres
63 units/acre
10 Stories



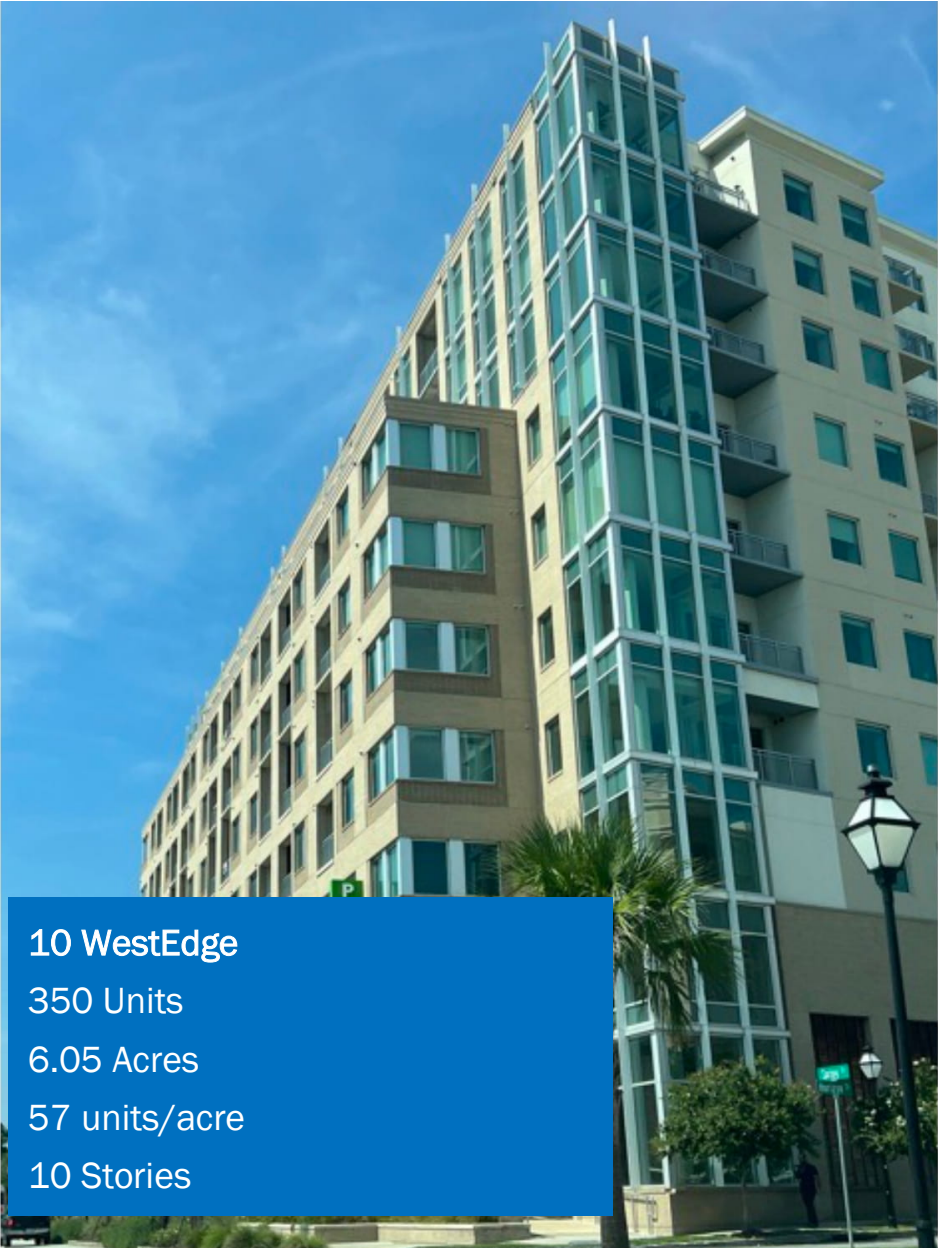
The Porter
118 Units
2 acres
59 units/acre
6 Stories

Date November 8, 2022
RE: Density Considerations for Downtown NW District



The Guild
226 Units
3 acres
75 units/acre
8 Stories





10 WestEdge
350 Units
6.05 Acres
57 units/acre
10 Stories

Public Information and Input Meeting Notes
Downtown Northwest Zoning District
Zoning Ordinance Amendment #60/ORD 2001

October 12, 2022

6:00 PM

A public information and input meeting was held on October 12, 2022 to introduce a new zoning district proposed to be added to the Town Zoning Ordinance. The district is called the Downtown Northwest district and covers the area bounded by North Main St., Turner St., and Prices Fork Rd. Staff present at the meeting were Anne McClung, Planning and Building Department Director and Matt Hanratty, Assistant to the Town Manager. Staff provided an overview of the district and a summary of the district standards. Staff also went over the public hearing schedule for the amendment. It was noted that the text of the district has been prepared by a consultant, Camiros Ltd., and the text of the district will be posted to the Town website on October 14, 2022. Sign-in sheets from the meeting are attached.

- An attendee asked what would happen if there were a development that met the minimum size requirement of 3.5 acres but is located in the middle of the block. How will that fit in?
- An attendee inquired about the total acreage of the area the district covers.
- There were comments about the existing development in the area, specifically regarding the buildings owned by the Virginia Tech Foundation. There were also comments about the impact of the Virginia Tech Foundation ownership on local taxes.
- An attendee asked about the building height and if the 100-125' height proposed in the draft were the maximum that could be considered. There were also questions about the relationship of building height and residential density.
- An attendee spoke about the Downton Strategic Plan and asked about why specific details of the Midtown sub district were not included in the Strategic Plan.
- An attendee asked when the specific zoning amendment text would be available for review.
- An attendee asked for clarity of the relationship between this new district and the existing Downtown Commercial zoning. Can requests for items other than the new district still be considered? Could a planned residential rezoning request still be filed?
- An attendee asked if the adoption of this new district would impact the likelihood of approvals for changes that are not rezoning to the DTNW district.
- An attendee commented that this proposal and the Strategic Plan mean that Blacksburg will not be a small town anymore.
- An attendee asked about the use of upper floors for residential uses.

Public Input Meeting

Downtown Northwest Zoning Amendment #60/Ordinance 2001

Date: October 12, 2022 6:00 pm

Name	Address	Email
Dawn/Hamid LaRusa	112 Turner Street NW	dlarusa@aol.com hlapuasa@aol.com
Jerry Dittell	1731 Forest View LN	jdittell@yahoo.com
Carrie Woodriny	902 Prices Fork Rd #130	carrie.woodriny@vtr.org
SCHN T. NEER	1260 RADFORD ST. COUNCIL	SNEELEFORESIGHTDESIGNSERVICES.COM
Jill Price	600 EAST MAIN	

Please Print Legibly

Public Input Meeting
 Date: October 12, 2022 6:00 pm
 Downtown Northwest Zoning Amendment #60/Ordinance 2001

Name	Address	Email
Genny Thompson Gretchen Merix	1995 8 Main 80 College St. Suite 401 C'burg	LANNY@NEXTHOAENRW.COM gmerix@walter.cc
Emily Gibson Mike Gibson	800 Dr. Willfield Dr	gibson@vt.edu

Please Print Legibly

Core Spaces Comments

- Section 3501 - Applicability
 - (b) Consider lowering to 1.5 acres, which still achieves the goal of having a sizable development that can follow through on the spirit of the area
- Section 3502 - Permitted Uses
 - (c) Consider lowering the MF limitation to be within 100' of Main Street and Main/Turner intersection. This will provide more flexibility and opportunities with Passage design later
- Section 3503 - Dimensional Standards
 - (b) Consider reducing distance for max height measurements. Our recommendation would be
 - Max height = 65' up to 100' from centerline of Main Street
 - Max height = 90' from 101' to 200' from centerline of Main Street
 - Max height = 125' > 200' from centerline of Main Street
 - **Please see attached height study, demonstrating that this change would not have a visual impact on Main Street and would not be visible until you are more than 75' back from the sidewalk**
 - (c) (1) i.1.b Consider reducing passage to 25' in width for more pedestrian friendly scale
 - (f) recommend adding "for purposes of build-to zone requirement **and any build-out percentage**" to first sentence
- Section 350_ - Site Development Standards
 - (e) On-site open space - what if lot fronts both North Main and another Street, is the open space required 5% or 10%?
- Section 350_ - Design Standards - remove bulkhead or kneewall requirement at ground floor glazing.