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November 29, 2022

Paul Patterson, Zoning Administrator
Town of Blacksburg
400 South Main St.
Blacksburg, VA 24060

RE: Glade Spring Crossing Creek Valley Overlay Modification and Disturbance Request

Dear Mr. Patterson,

This letter serves as a formal request to modify and request authorization for disturbance in the Creek Valley Overlay within the boundaries of tax parcel 225-(A)-3 as part of the Glade Spring Crossing rezoning (RZN 22-0004) and subdivision processes. Zoning ordinance sections 3235 “Disturbance” and 3231 “Creek Valley District Established” and both addressed herein.

- 1) Zoning Ordinance Section 3235– Disturbance requires “No grading or other ground disturbing activities shall be permitted in the Creek Valley Overlay District, unless authorized, in writing, by the Zoning Administrator.” This is the formal request for disturbance within the Creek Valley Overlay for the construction of items allowed per the Creek Valley Overlay Permitted Uses listed in Section 3232.
 - a) Section 3232- Permitted Uses. “The following uses are permitted by right”
 - i) for Utility Services Minor: sewer pump station and underground services necessary to support the development such as power, gas, phone, internet services.
 - ii) Open Space
 - iii) Public Parks: greenway trail/bicycle riding trail
 - b) These permitted uses require grading and are ground disturbing activities; therefore we request authorization for their construction.
 - i) Utility Services Minor includes a pump station that will need to be graded in on a flat pad approximately 25x12 as well as utility services to provide power and internet to the station. Pump stations occur at the lowest point on the site to accommodate all gravity flow from dwellings from the North side and South side, which requires it to be in the CVO. The ordinance allows minor utility services in the CVO by right because pump stations typically have to be installed in the low spots, where the floodplain exists which is an integral part of the CVO. In order to provide gravity sewer without excessively deep (>12 feet in depth) lines, sewer service must be provided from the low point of the parcels which is adjacent to the CVO. Efforts will be made during design to locate the pump station as far away from the channel as possible. Since housing is not permitted in the CVO, and density is required for mixed-income housing on this project, houses must be pushed out of the CVO leaving little room outside of it for other utilities. Therefore, in a development with density, the CVO must be utilized for those by right uses. To keep grading in the CVO to a minimum, sidewalk has been removed from Road A so that units could be pushed closer to the road.

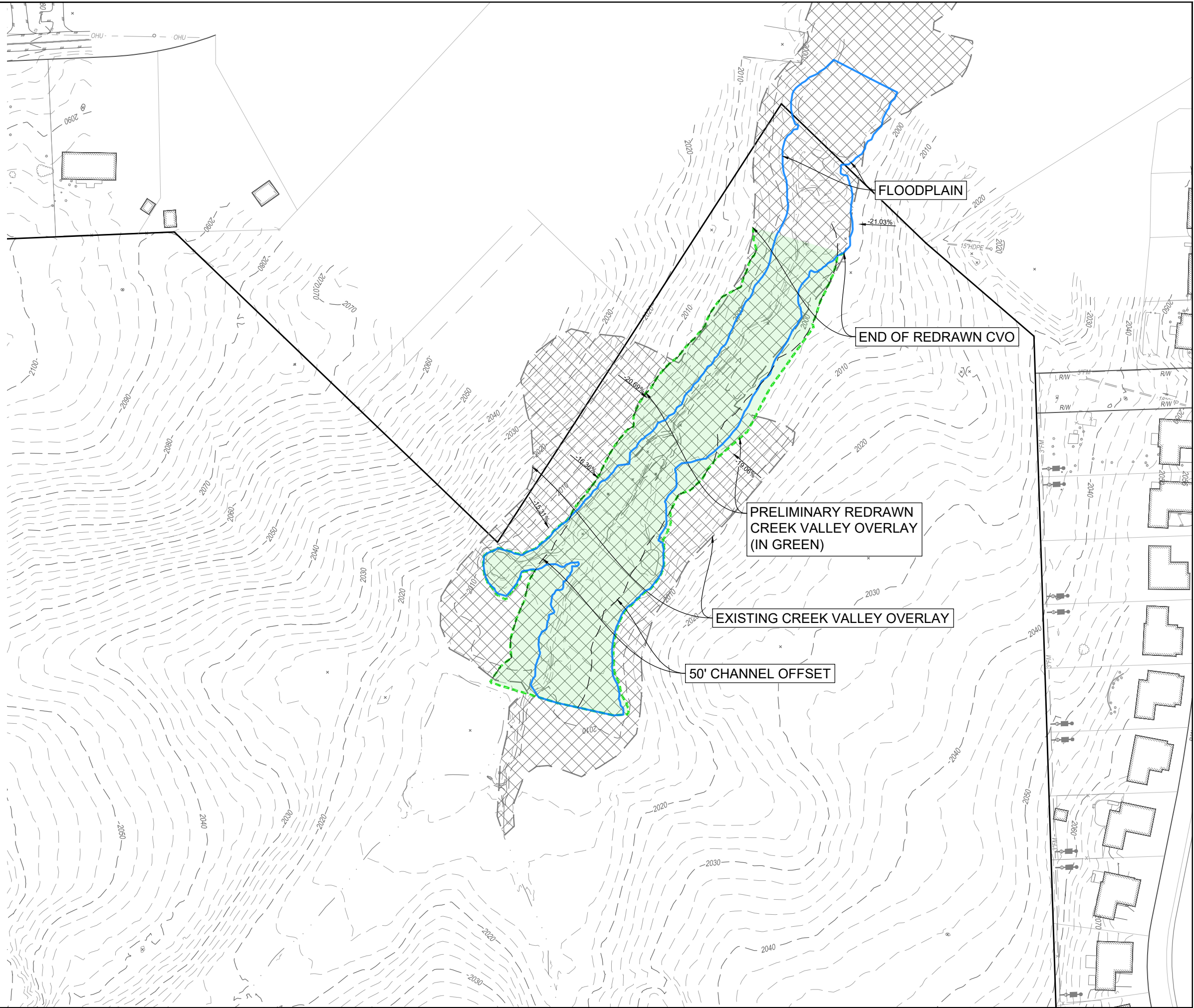
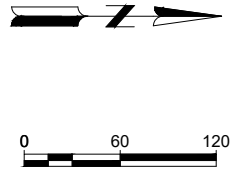
- ii) Open space areas in the Creek Valley Overlay will require equipment to plant trees that may cause disturbance. Therefore, we request disturbance for that purpose in the CVO
 - iii) Greenway trails are depicted within the CVO areas and are requested as a disturbance on this project. Again, because dwellings must occupy areas outside the CVO, this area remains for the recreational amenities needed within the development and are shown in the CVO on Map D of the 2021 Comprehensive plan for this reason. Typically, around the nation, floodplains are used for trail development because they are flatter than the surrounding terrain and floodplains contain open, scenic areas for greenway trails. This project's trails require disturbance and grading, especially when ADA accessibility is required in mountainous areas like Blacksburg. Again, care will be taken in design to minimize grading and to keep the trail as far from the creek as possible. In design, when unit types are known, basements are known, and design issues considered for sewer, the trail location will be able to be determined. However, at this point the applicant knows the grading will need to encroach into the CVO.
 - c) Unrelated to this ordinance, the applicant understands that no increase in the 100-year floodplain shall result.
- 2) Zoning Ordinance Section 3231 describes the criteria utilized to define the existing Creek Valley Overlay (CVO) district and allows the applicant to modify site specific boundaries and "delineate through a certified survey". We are requesting the Zoning Administrator to allow this modification during the Preliminary Plat stage to establish a new site-specific boundary. For purposes of evaluating the rezoning, the boundaries have been preliminarily examined with survey as follows:
- a) Tom's Creek and the Tom's Creek 100-year floodplain. As submitted to Kafi Howard in the Glade Spring Crossing Floodplain calculations dated and sent November 10, 2022.
 - b) All areas of twenty-five (25) percent or greater slopes adjacent to the floodplain, or if no floodplain is present, twenty-five (25) percent or greater slopes that begin within fifty (50) feet of the creek channel;
 - c) All wetlands contiguous to lands described in numbers (1) and (2), above;
 - d) All the land within a corridor defined by a boundary line which is fifty (50) feet from the center line of the creek, provided this land is not included in the Creek Valley Overlay as a result of number (1), (2), or (3), above.
 - e) A preliminary sketch of the Creek Valley overlay with the requirements of a)-d) is included in The Glade Spring Crossing "Stormwater Management Concept Plan" Dated November 28, 2022 submitted to Kafi Howard on that date. However, a final survey and plat will be submitted during the Preliminary Plat process.

Thank you for your consideration of these items.

Best,



Meredith Jones, P.E. Principal
Eden & Associates P.C.



No.	Revision / Issue	Date

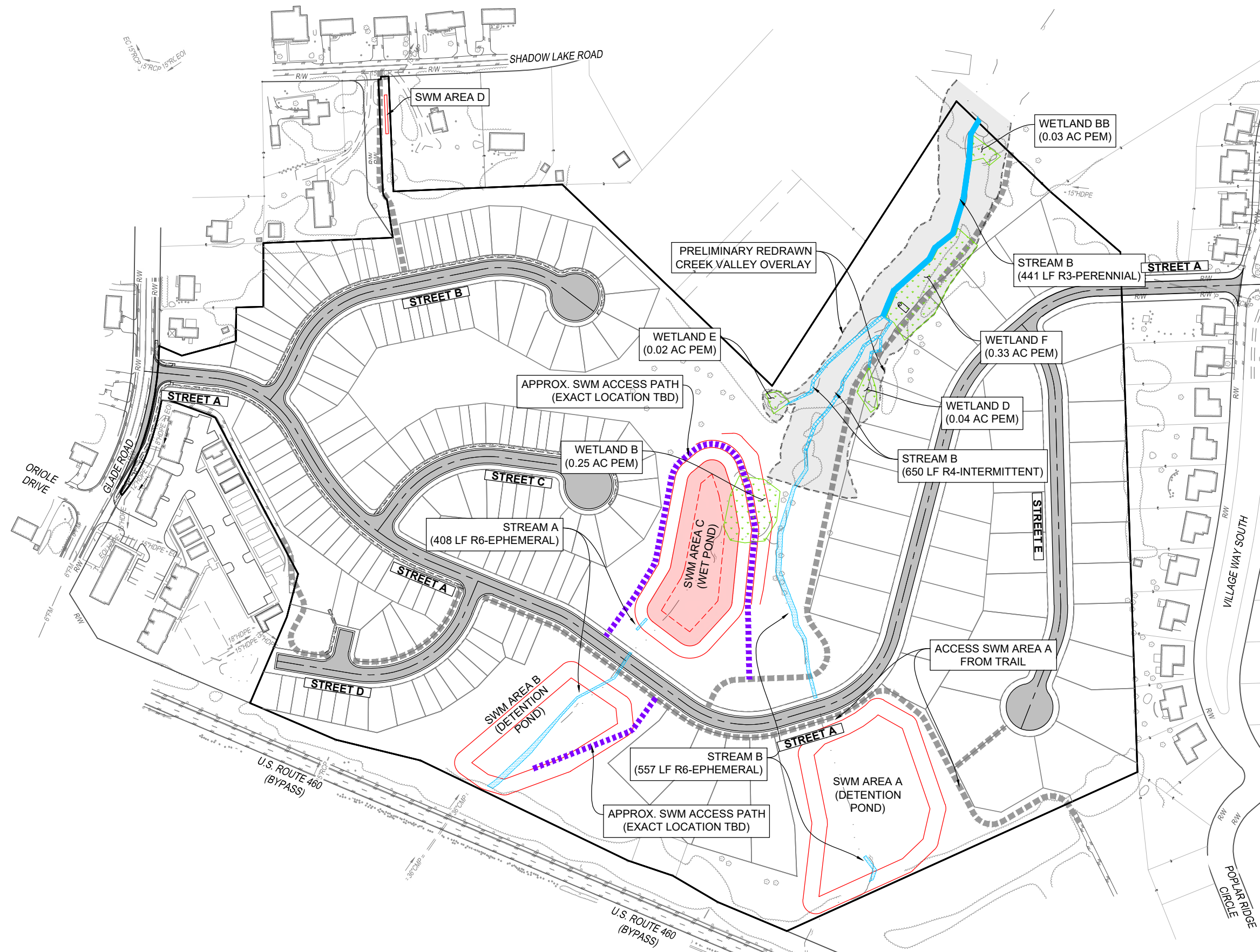
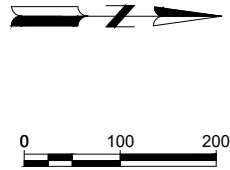
PAUL J. BROWN
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 11/10/2022
 PROFESSIONAL ENGINEER, V.I.

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**PROPOSED CREEK VALLEY
 OVERLAY MODIFICATION
 EXHIBIT**

PROPOSED DEVELOPMENT OF
GLADE SPRING CROSSING
 PROPERTY OF GLADE HGTS, LLC - TAX PARCELS
 225-(A)-3, 225-(A)-4, & 224-(A)-57 - 45.0976 AC.
 TOWN OF BLACKSBURG - PRICES FORK DISTRICT
 MONTGOMERY COUNTY, VIRGINIA

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PAUL BROWN
 Lic. No. 036148
 11/10/2022
 PROFESSIONAL ENGINEER, V.I.

**STORMWATER MANAGEMENT
 AREAS EXHIBIT**

PROPOSED DEVELOPMENT OF
GLADE SPRING CROSSING
 PROPERTY OF GLADE HGTS, LLC - TAX PARCELS
 225-(A)-3, 225-(A)-4, & 224-(A)-57 - 45.0976 AC.
 TOWN OF BLACKSBURG - PRICES FORK DISTRICT
 MONTGOMERY COUNTY, VIRGINIA

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