

STAFF UPDATE MEMO

TO: Planning Commission

FROM: Kinsey O'Shea, AICP Senior Town Planner *KO*

DATE: December 2, 2022

SUBJECT: CUP 22-0005- Conditional Use Permit Request for additional height in the Downtown Commercial DC zoning district at 310 Midtown Way (Tax Map No. 257-(A)-217) by Foresight Design Services (applicant) for Midtown Redevelopment Partners, LLC (property owner)

At the November 15, 2022 Planning Commission work session, several items were discussed in regards to the impact of the proposed height of the building on the pedestrian streetscape environment, and adjacent uses. In response to the staff report and discussion at the work session, the applicant has submitted a revised concept plan. No revisions to architectural elevations have been submitted. This memo covers the changes made to the concept plan and relationship to the impact of the proposed additional height. The staff-recommended conditions have been updated to reflect the revised concept plan date, as well as additions as noted below.

Building Setbacks

It was noted in the staff report that detailed dimensions were not provided to determine the building's setback from the property line, or curb, depending on how it is required to be measured per the Midtown rezoning. The revised concept plan shows the required dimensions:

- Midtown Way: 3.67' minimum from property line
 - *(0' minimum from property line required)*
- Church Street: 15' minimum from property line; or 15'+ from back of curb
 - *(12' minimum required from back of curb, which is just beyond the property line)*
- Eheart Street: 37.47' from property line
 - *(15' required minimum from property line)*
- Interior adjacent property: 91.12' from property line
 - *(20' required minimum from property line)*

Width of sidewalk

It was noted in the staff report that the rezoning showed a continuous pedestrian connection through the property between Midtown Way and Eheart Street. This connection was not provided in total in the first submission. The revised concept plan shows a continuous sidewalk running along the building edge and parking lot to provide a connection through the site. While it is not a direct connection, it does satisfy the intent to provide the pedestrian through-connection.

Impact on pedestrian environment

The staff report and discussion at the work session focused primarily on the impact to the pedestrian environment and the staff-recommended condition:

1. In order to mitigate the impact of the additional building height on the pedestrian environment

and neighboring uses, the developer shall provide the following enhanced streetscape measures:

- a. Wider sidewalk between the proposed building and the existing back of sidewalk along Church Street and Midtown Way;
- b. Planters/boxes/urban landscape features along the streetscape at a rate of one per every 50' of frontage along Church Street and Midtown Way;
- c. Additional street furnishings such as trash cans, benches, bike racks, tables, etc. within the enhanced streetscape zone along Church Street and Midtown Way;
- d. One additional street tree in the green space south of the building along Eheart Street near the proposed hardscape area;
- e. Additional landscaping to screen the parking from view of Midtown Way at the entrance, provided that no landscaping obstructs sight distance at the entrance or interferes with underground utility infrastructure; and
- f. Additional landscaping to screen the parking and building from view of the adjacent PR parcel. Landscaping in this area should consist of small-to-medium evergreen and deciduous shrubs, and herbaceous perennials. No trees shall be planted in this area due to underground utility infrastructure.

In response, the concept plan includes the following:

- Widened sidewalk along portions of the building frontage closest to the street along Church Street and Midtown Way
 - The concept plan shows wider sidewalk extending from about mid-block on Church Street to just beyond the outdoor dining area along Midtown Way. This provides additional space along a portion of the building frontage, where the building is closest to the street. However, the wider sidewalk does not correspond to the entire frontage of the building, or the entire frontage of the parcel. The increased height of the building corresponds to the entire frontage of Church Street, and so the wider sidewalk should be provided along the Church Street frontage.
No details regarding materials were included, though the revised concept plan indicates a herringbone pattern. The wider sidewalk should feel like a seamless transition from the public sidewalk. Details regarding this transition and materials may be verified at the site plan stage.
The revised concept plan also shows sidewalk extending past the vehicle entrance to the adjacent property line with the townhomes to the east.
- Eight (8) planter areas at the back of the “public” sidewalk along Church Street and Midtown Way
 - The concept plan shows planter boxes with landscaping between the “public” sidewalk and the widened sidewalk provided by the developer interspersed along the building frontage with wider sidewalk. Five (5) planter areas are provided along Church Street, and three (3) planter areas are provided along Midtown Way. Since the wider sidewalk does not extend the full building or parcel frontage, these planters are confined to the area where there is additional sidewalk width. However, as stated in the recommended condition, the planters shall be provided one per every 50' of frontage. The Church Street frontage is approximately 267', and thus five planters would be required. The Midtown Way frontage is approximately 291', and thus five planters would also be required. In order to meet the recommended condition, two more planters should be

provided along Midtown Way. Planning Commission may also determine that the proposed planters and their relationship to the building façade and streetscape are adequate, and revise the condition.

- Benches are provided along the building façade in the widened sidewalk area. A total of seven (7) benches are proposed.
 - The revised concept plan shows benches (white blocks) along the building frontage in the area where the wider sidewalk is provided. No other street furnishings are proposed. Details regarding materials and design were not provided. The street furnishings should match either those selected within the Midtown development, or the Town standard furnishings for the Downtown Commercial zoning district, depending on location. The staff-recommended condition has been revised to provide this clarification.
- One additional street tree is provided south of the building
 - The revised plan shows one additional street tree between the public sidewalk and the retaining wall near the southwest building corner.
- Some additional landscaping provided to screen parking from view of Midtown Way
 - The revised concept plan shows five additional trees near the vehicle entrance. These trees will be beneficial in helping to soften the additional height of the building, but do not provide ground-level screening. Additional shrubs may be appropriate if they do not block sight distance for vehicles exiting the site.
- Additional landscaping is provided to shield parking and building from view of the neighboring PR parcel
 - The revised concept plan shows a double-row of shrubs interior to the property line adjacent to the PR parcel.

In summary, the concept plan has been revised to address many of the concerns noted in the staff report, though as provided in the analysis above, several items may need further attention, if Planning Commission believes that the proposed improvements do not adequately mitigate the impacts of the proposed additional height. Staff recommends that the condition be applied with the original wording, with compliance to be determined at the site plan and construction stage. This will ensure that, through the site plan review process, the conditions applied to the approval of the CUP will be enforced as requirements of the site plan. At the time of construction, staff will inspect the adequacy of the required improvements to further ensure that specific field conditions do not render the proposed improvements ineffective in mitigating the impact of the additional height of the building.

Updated Recommended Conditions

Below are the updated staff recommended conditions:

1. The site shall be developed in substantial conformance with the application dated October 3, 2022, and revised November 28, 2022.
2. The maximum height of the structure shall be limited to 73'.
3. In order to mitigate the impact of the additional building height on the pedestrian environment and neighboring uses, the developer shall provide the following enhanced streetscape measures:
 - a. Wider sidewalk between the proposed building and the existing back of sidewalk along

- Church Street and Midtown Way;
- b. Planters/boxes/urban landscape features along the streetscape at a rate of one per every 50' of frontage along Church Street and Midtown Way;
 - c. Additional street furnishings such as trash cans, benches, bike racks, tables, etc. within the enhanced streetscape zone along Church Street and Midtown Way. The street furnishings shall match either those selected within the Midtown development, or the Town standard furnishings for the Downtown Commercial zoning district;
 - d. One additional street tree in the green space south of the building along Eheart Street near the proposed hardscape area;
 - e. Additional landscaping to screen the parking from view of Midtown Way at the entrance, provided that no landscaping obstructs sight distance at the entrance or interferes with underground utility infrastructure; and
 - f. Additional landscaping to screen the parking and building from view of the adjacent PR parcel. Landscaping in this area should consist of small-to-medium evergreen and deciduous shrubs, and herbaceous perennials. No trees shall be planted in this area due to underground utility infrastructure.

Attachments

Cover Memo from applicant received 12-02-2022

Updated concept plan dated 11-28-2022

Midtown Hotel CUP Request

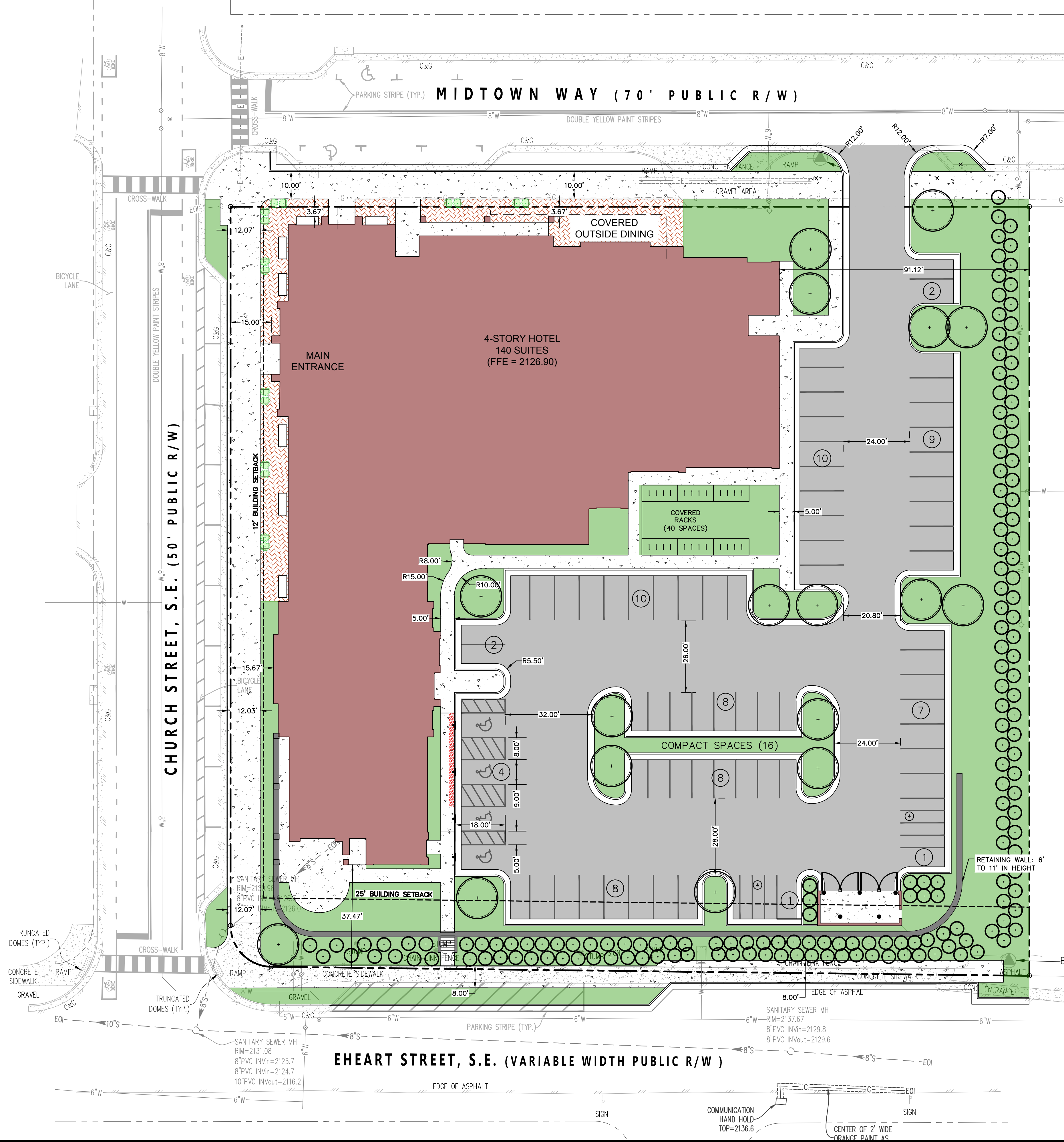
Summary of Revisions – Based on the Planning Commission Work Session held on November 15th, 2022, KM Hotels has revised the request in the following ways:

- The Hotel and Parking lot have been slightly shifted to allow for a continuous sidewalk to connect from Midtown Way through the site to Eheart Street.
- An additional row of landscaping shrubs has been added to the East boundary with the PR area to buffer from the proposed parking.
- A list of shrubs have been provided on the concept plan for utilization throughout the site.
- Two new parking lot landscaping islands with trees have been added to the parking area adjacent to the PR area to provide some buffer between the proposed hotel building and the Townhomes.
- Additional hardscaping area has been added along the face of the hotel on both Midtown Way and Church Street as was envisioned in the original rezoning. Multiple planter boxes and benches have been illustrated however we would request the opportunity to mix and match these in equivalent numbers to the overall shown.

RECEIVED 2 DEC 2022

BY KJO

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 SITE LAYOUT AND DIMENSION PLAN, 11/28/2022 10:47:11 AM, Scottwell, AutoCAD PDF (General Documentation).pc3, 1:1



HOTEL PARKING

PARKING REQUIREMENT: 1 SPACE PER SUITE PLUS 1 FOR EVERY 10
 137 X 0.5 = 69 SPACES REQUIRED
 74 SPACES SHOWN
 SPACES SHOWN ARE 9' x 18'
 COMPACT SPACES ARE 8' x 16'

ADA SPACES REQUIRED: 3 SPACES PER VA BUILDING CODE
 1 VAN ACCESSIBLE

MOTORCYCLE SPACES REQUIRED: 8 REQUIRED
 MOTORCYCLE SPACES PROVIDED: 8 PROVIDED

BICYCLE SPACES REQUIRED: 140 ROOMS X 0.25 = 35
 BICYCLE SPACES PROVIDED: 40 PROVIDED

PARKING LOT TREES REQUIRED: 8 TREES
 PARKING LOT TREES PROVIDED: 8 TREES

PARKING LOT LANDSCAPING

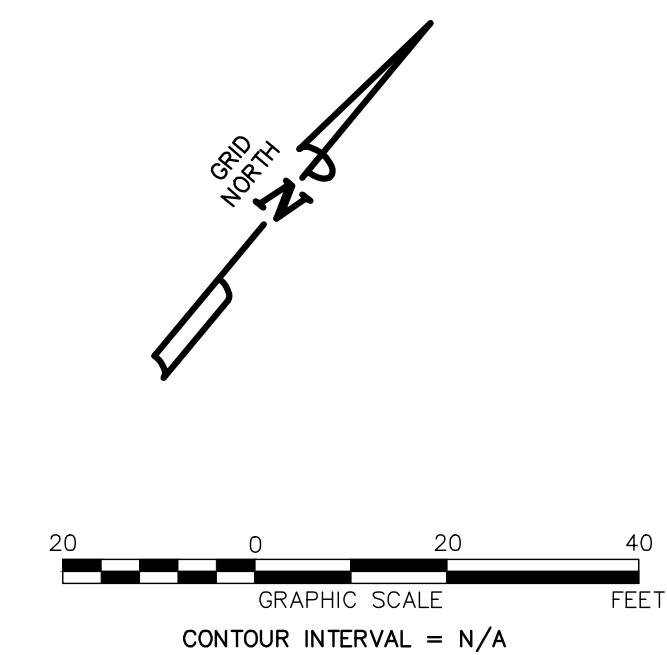
PARKING LOT AREA: 25,250 SF
 PARKING LOT LANDSCAPING REQUIRED (5%): 1,263 SF
 PARKING LOT LANDSCAPING PROVIDED: 1,426 SF

ADDITIONAL LANDSCAPING NOTES:

- STREET TREES, PARKING LOT LANDSCAPING TREES AND GENERAL SITE LANDSCAPING TREES SHALL BE SELECTED FROM THE RECOMMENDED TREE SPECIES LIST IN SECTION 5429 OF THE TOWN OF BLACKSBURG ZONING ORDINANCE AND MEET THE SIZING REQUIREMENTS FOUND THEREIN OR AS APPROVED BY THE TOWN OF BLACKSBURG ZONING ADMINISTRATOR.
- SHRUBS SHALL BE VARIED AROUND THE SITE IN GENERAL CONFORMANCE WITH THE LAYOUT SHOWN ON THIS CONCEPT PLAN, A MINIMUM OF 3 GALLONS OR 24" TALL AT THE TIME OF PLANTING DEPENDING ON THE SELECTED SPECIES, AND SHALL BE PLANTED A MAXIMUM OF 8 FT SPACING CENTER TO CENTER. SHRUBS SHALL BE SELECTED FROM THE FOLLOWING LIST:
 - GLOSSY ABELIA
 - BLUE PRINCESS HOLLY
 - HETZ JAPANESE HOLLY
 - INKBERRY HOLLY
 - CEDAR

THE APPLICANT RESERVES THE RIGHT TO MODIFY THE NUMBER OF BICYCLE AND MOTORCYCLE SPACES IN COORDINATION WITH THE ZONING ADMINISTRATOR. THE HOTEL USE IS NOT ADEQUATELY REPRESENTED IN DIVISION 2 OF THE ZONING ORDINANCE SECTIONS 5213(D) OR 5214.

RECEIVED 28 NOV 2022
 BY KJO



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MIDTOWN HOTEL
 SITE PLAN
 MONTGOMERY COUNTY
 MT. TABOR MAGISTERIAL DISTRICT
 TOWN OF BLACKSBURG, VIRGINIA

PRELIMINARY
 NOT FOR CONSTRUCTION

REVISIONS

NO.	COMMENTS	DATE

PROJECT TEAM

PI	JOHN T. NEEL, PE
PM	STEVEN T. CARDENAS, EIT
DESIGN	ADS

ISSUE DATE

10/03/2022

FDS JOB NO.

3283

SHEET TITLE

SITE LAYOUT AND DIMENSION CONCEPT PLAN

SHEET NUMBER

C2-01