



Neighborhood meeting
December 7, 2022

Development Goals

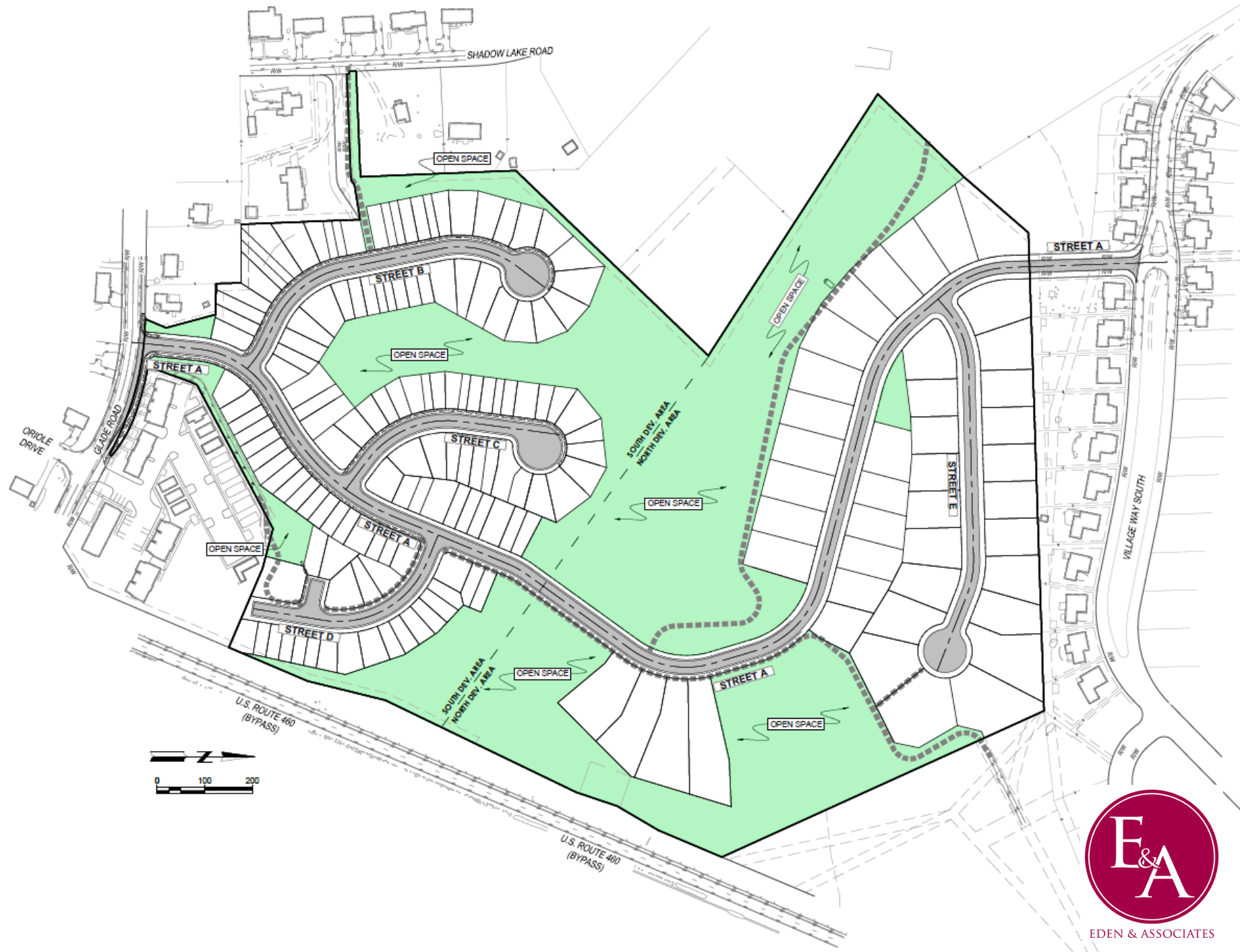
- To offer a diverse collection of market-rate and mixed-income new construction homes affordable to the Town of Blacksburg's critical workforce, young families, and first-time homeowners.
- To provide aesthetically pleasing, energy efficient homes in a sustainable location, professionally managed by a homeowner's association.
- To participate in reducing the environmental impact on Tom's Creek with regional stormwater management and encouragement of natural habitat and wildlife in our open space.
- To provide cost-efficient community amenities and infrastructure in an effort to keep future operations and management low for the Town and HOA.





Concept Plan

- 176 units (3.9 units/acre)
 - 134 Mixed Income
 - 10 units 60-80% AMI
 - 10 units 80-100% AMI
 - 4 units 100-120% AMI
 - 110 units mixed income
 - 42 Market rate
 - Owner Occupied
 - HOA managed
- 35% open space





home
PERFECTED



ELEVATIONS & RENDERS
NORTHERN AREA

pattern book | 11.16.2022



NORTHERN AREA

ELEVATION + RENDER

- 2623 sq ft



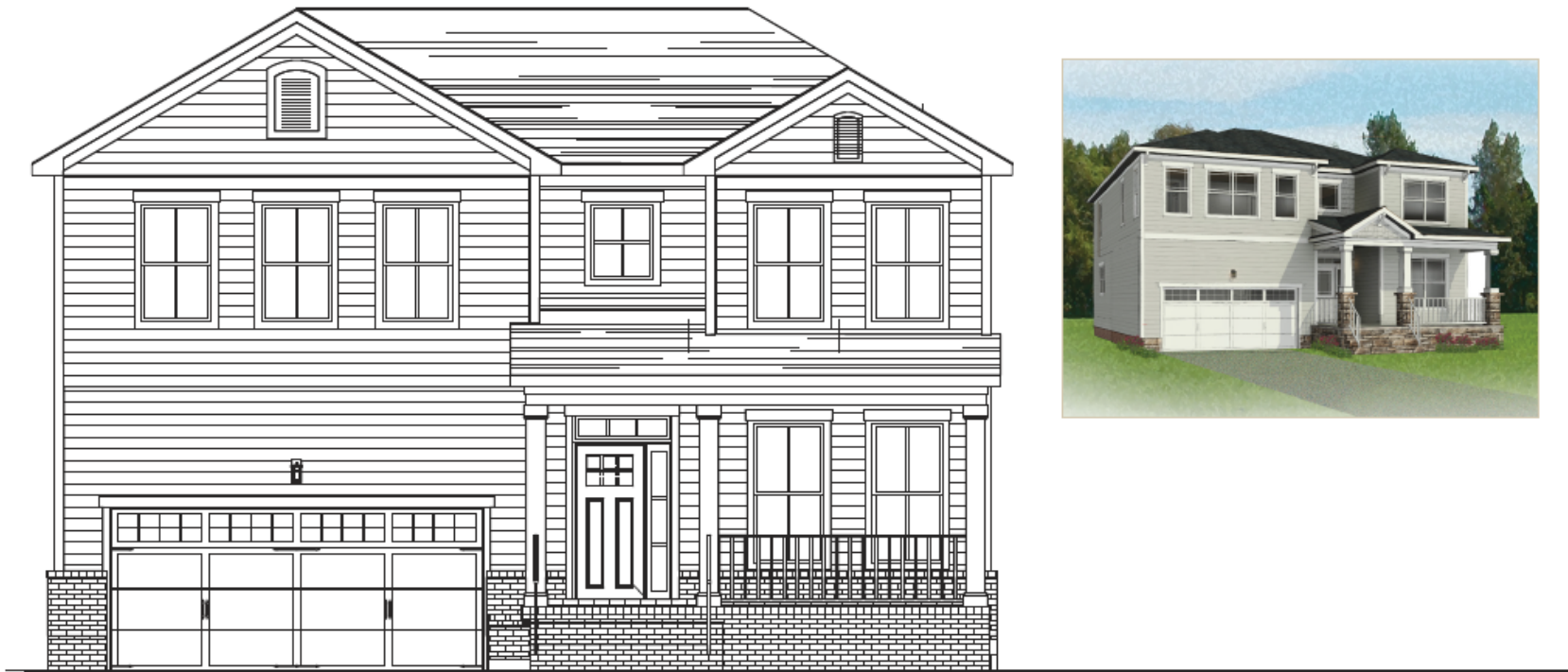
ELEVATION + RENDER

- 2772 sq ft



ELEVATION + RENDER

- 2751 sq ft





home
PERFECTED

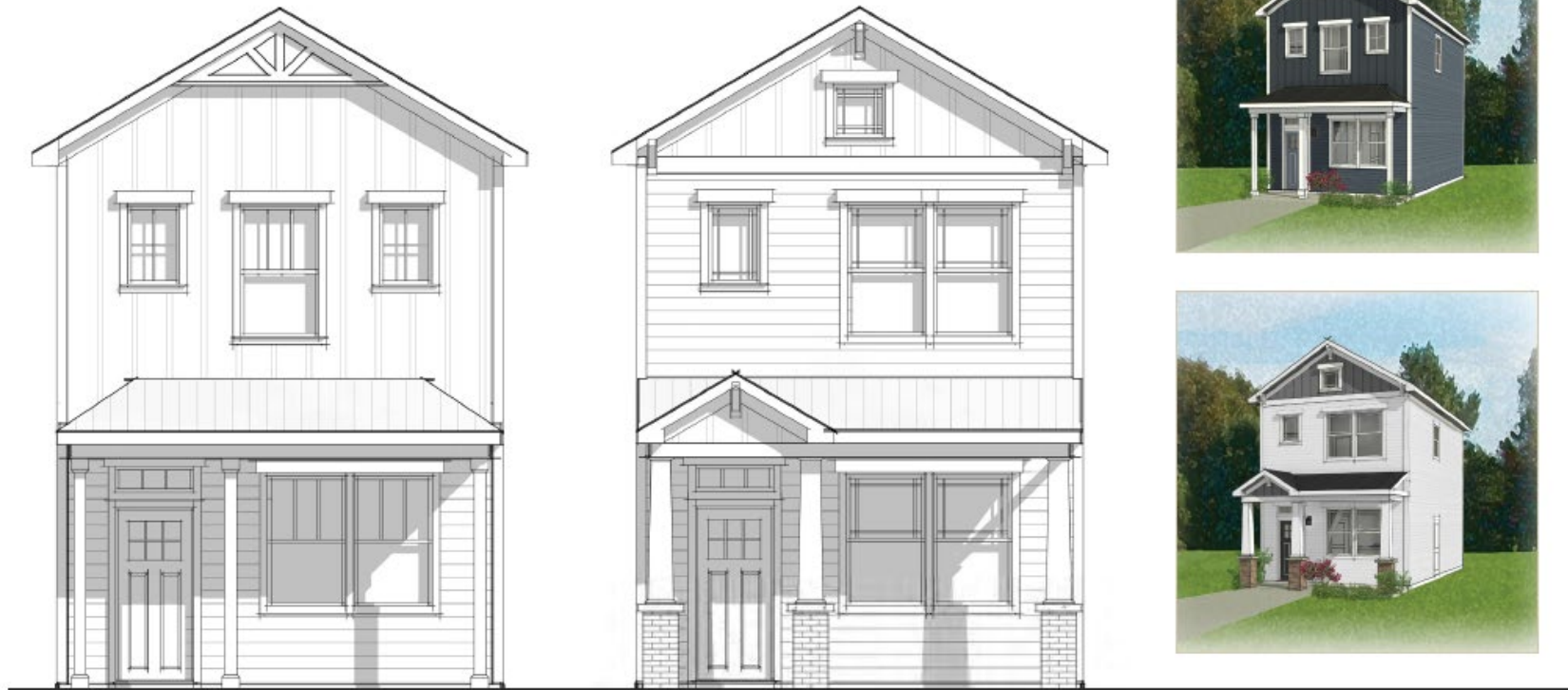


ELEVATIONS & RENDERS
SOUTHERN AREA



ELEVATION + RENDER

- 1080 sq ft



ELEVATION + RENDER

- 1080 sq ft



ELEVATION + RENDER

- 1334 sq ft



ELEVATION + RENDER



- 1334 sq ft

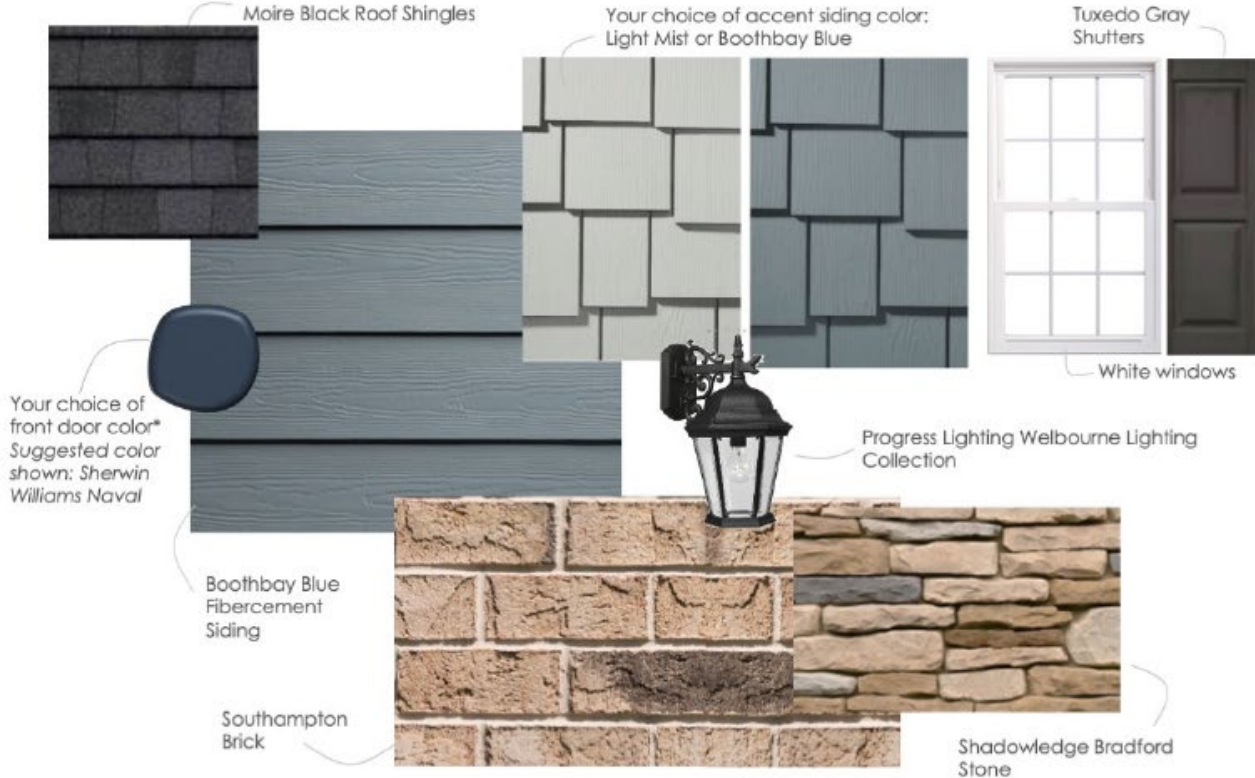
ELEVATION + RENDER

- 1334 sq ft



PALETTES & FINISHES

PALETTE 6

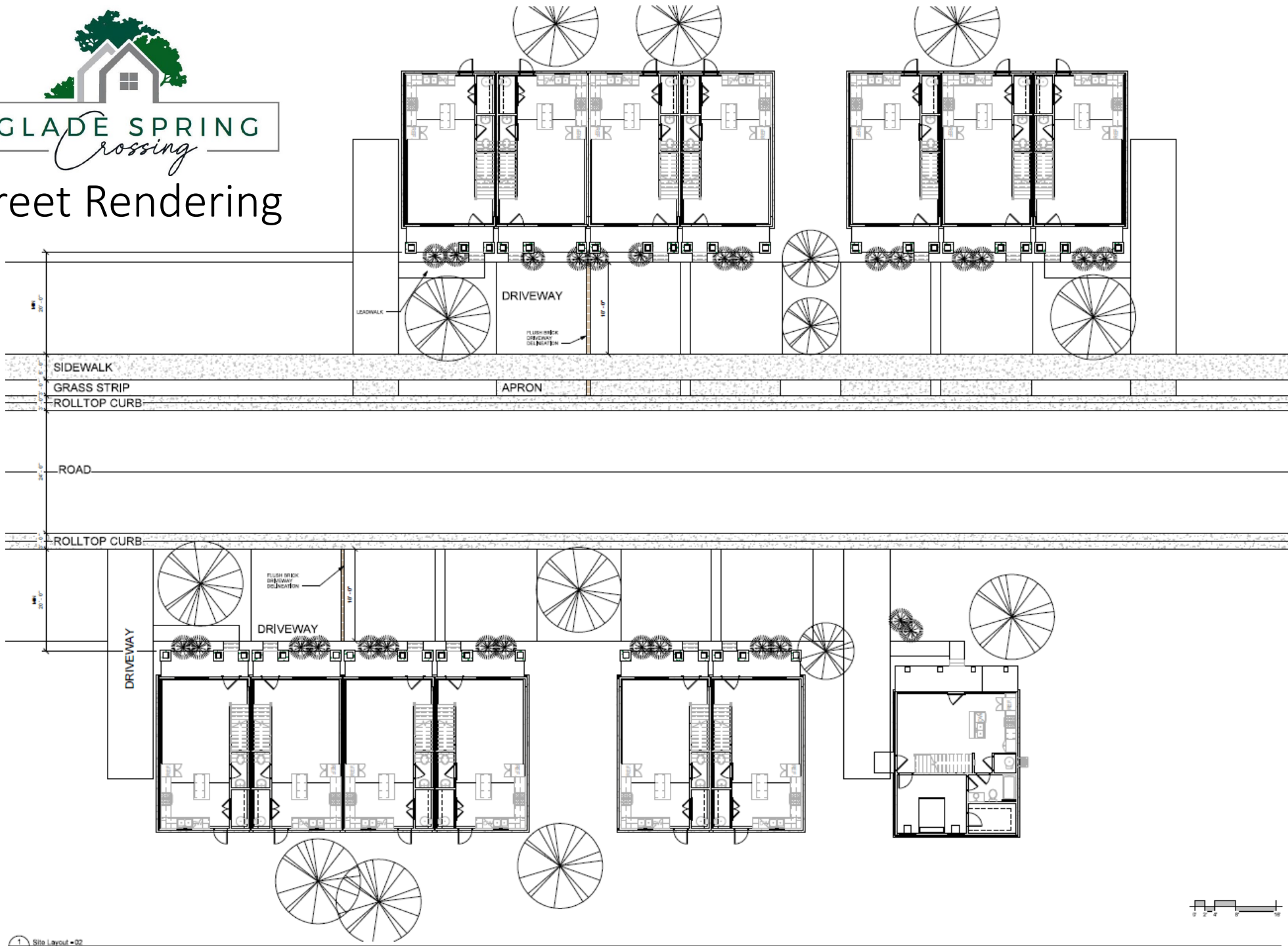




GLADE SPRING

Crossing

Street Rendering



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 Fax: (804) 741-0553
 eagleofva.com



DRAWN DATE:
11/23/2022
DRAFTED BY:
architectonic
REVISED DATE:
N/A

SITE DRIVEWAY CONCEPT
 GLADE SPRINGS SITE CONCEPTS

A100
CONCEPTUAL



GLADE SPRING
Crossing



1 CONCEPT 02 - 3D
A101

Street Rendering



3 CONCEPT 02 - VIEW 01
A101



4 CONCEPT 02 - VIEW 02
A101



2 CONCEPT 02 - 3D ELEV
A101



5 CONCEPT 02 - VIEW 03
A101

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DRAFTED BY:
archiTEC-tonic
REVISED DATE:
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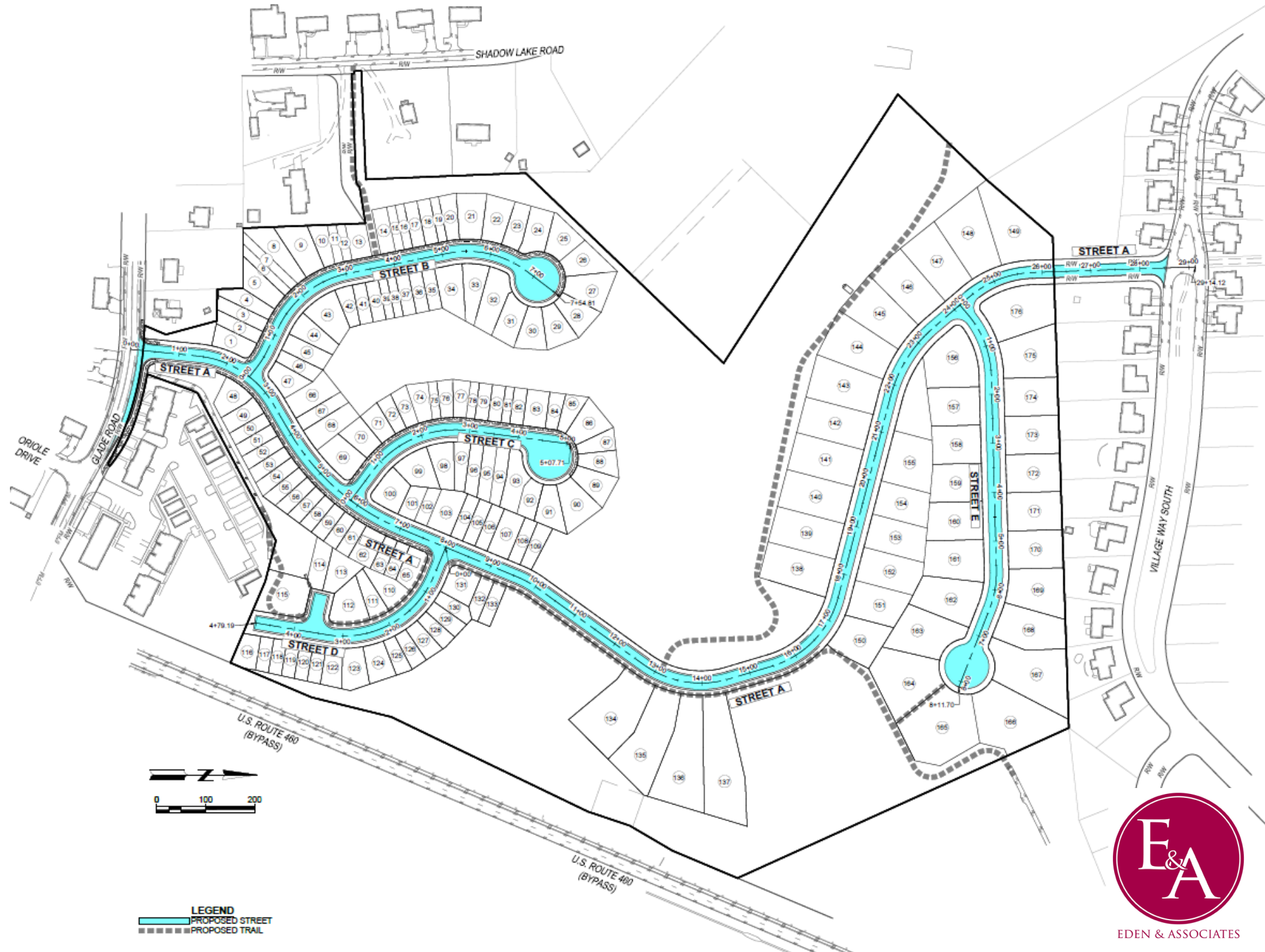
DRIVEWAY CONCEPT - VISUALS
GLADE SPRINGS SITE CONCEPTS

A101
CONCEPTUAL

GLADE SPRING



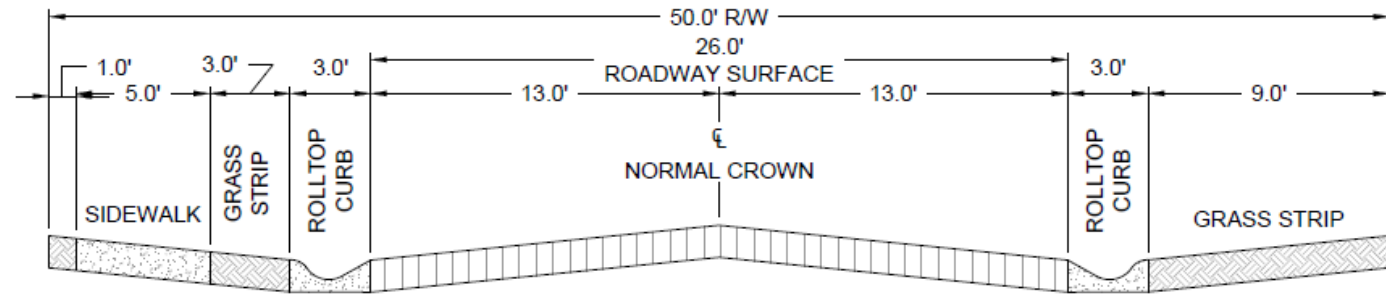
Transportation Circulation



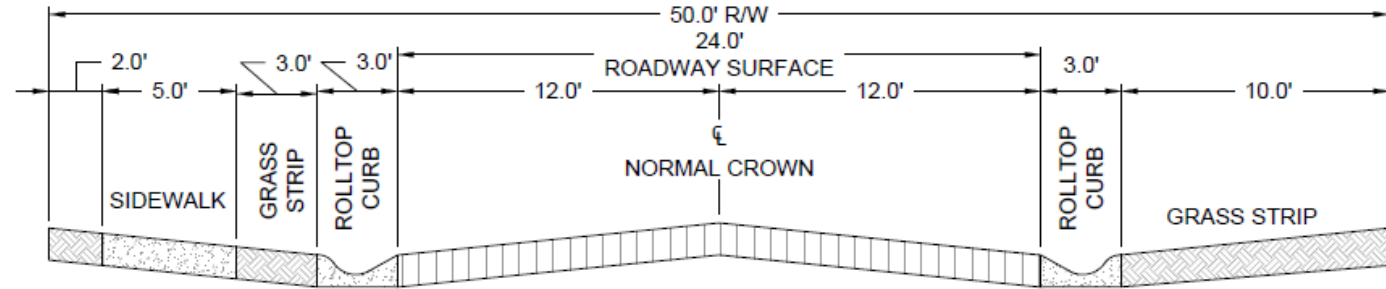
EDEN & ASSOCIATES



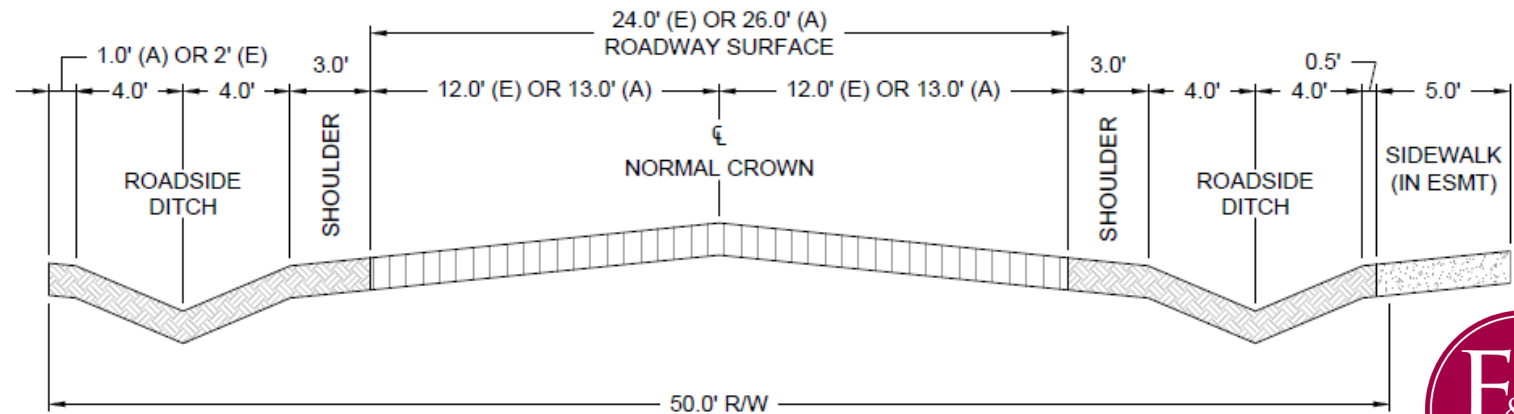
Typical Sections



**TYPICAL ROAD CROSS SECTION
FOR STREETS A (STA 0+50 TO STA 16+50) AND B
(NOT TO SCALE)**



**TYPICAL ROAD CROSS SECTION
FOR STREETS C AND D
(NOT TO SCALE)**



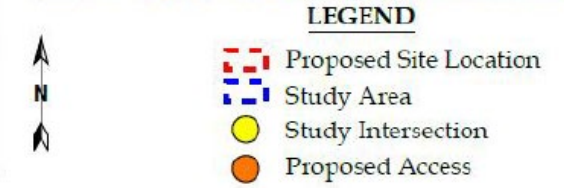
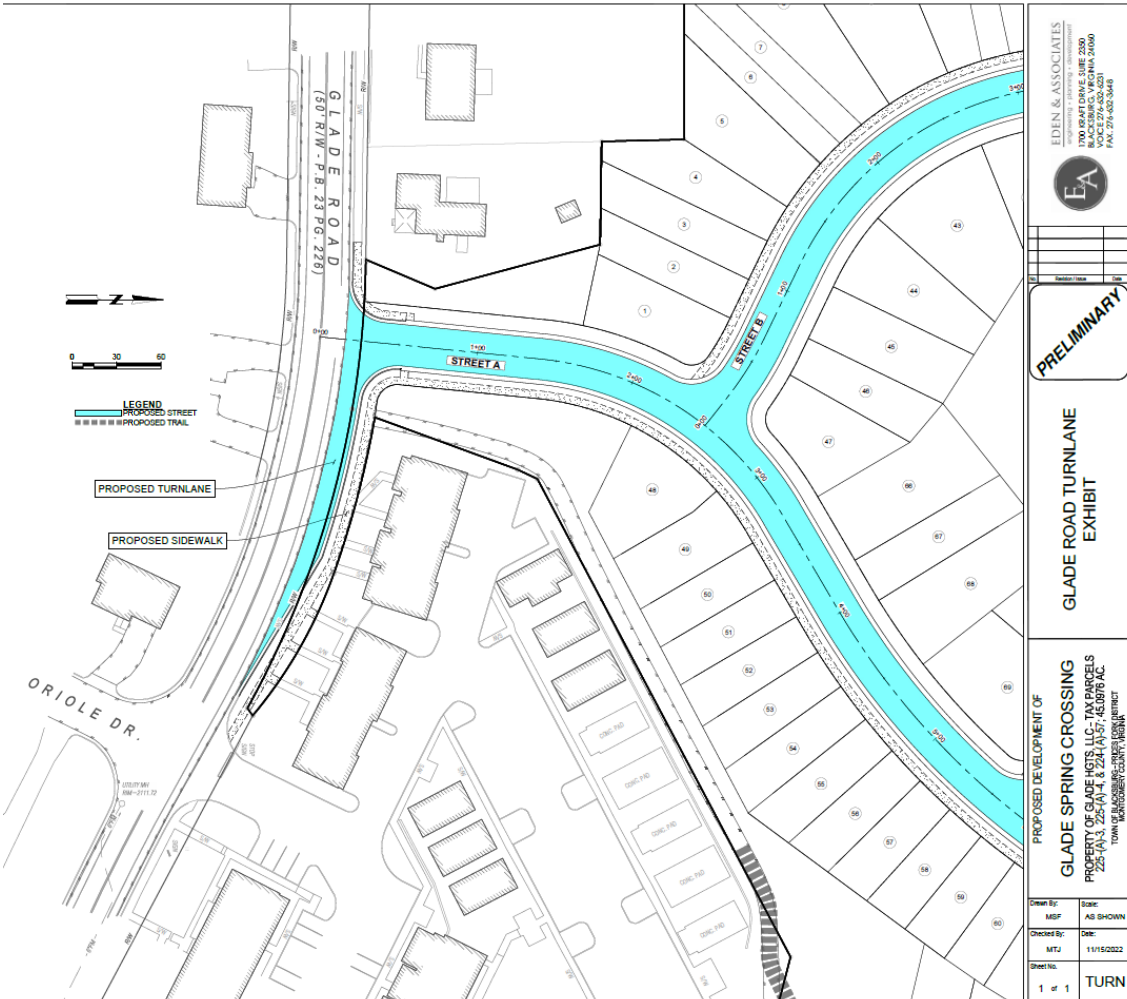
**TYPICAL ROAD CROSS SECTION
FOR STREET A (STA 16+50 TO STA 24+00) AND
STREET E
(NOT TO SCALE)**

NOTE: THE STREET IN PARENTHESIS!
DEFINES THE STREET TO WHICH THE
APPLIES.



Transportation Circulation

- Traffic Study Recommendations
 - Right turn lane into development
 - Minimal impacts to existing intersections: no improvements recommended
 - Old Glade/Glade did not meet signalized warrants



Transportation Circulation

- Traffic Study: of trip generated by the development
 - AM peak hour: 5 cars entering from V@TC 1 car in 12 minutes
 - AM peak hour: 14 cars exiting to V@TC 1 car in 4 minutes
 - PM peak hour: 16 cars entering from V@TC
 - PM peak hour: 10 cars exiting to V@TC

Land Use (ITE Land Use Code)	Size	Weekday Daily Traffic (vpd)		AM Peak Hour (vph)		PM Peak Hour (vph)	
		Enter	Exit	Enter	Exit	Enter	Exit
Single Family Detached Housing (210)	180 units	867	867	33	94	109	64

Site Trip Distribution

The following site trip distribution was applied based on a review of the existing traffic volumes, the adjacent roadway network, and engineering judgement:

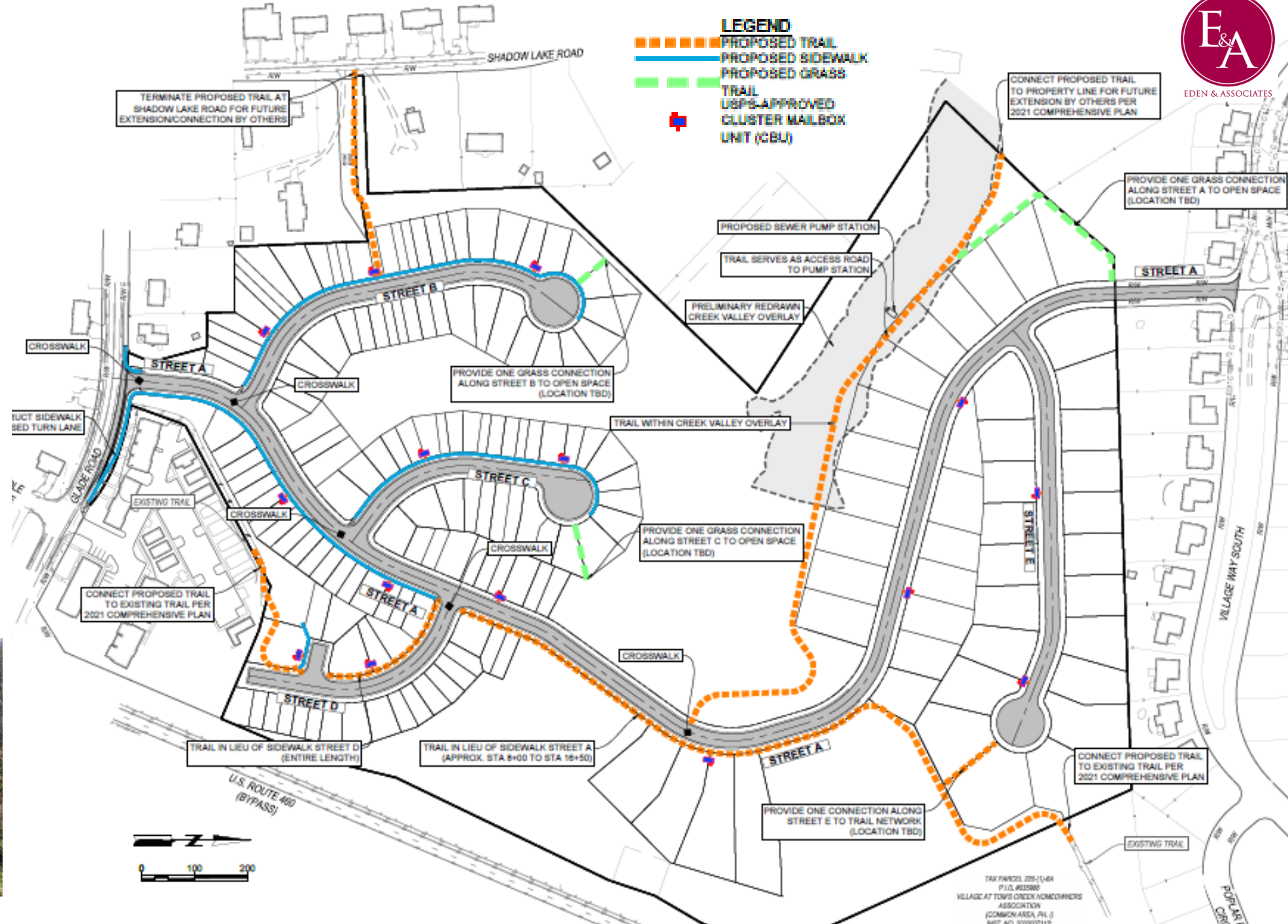
- 10% to / from the north on University City Boulevard
- 40% to / from the east on Prices Fork Road
- 30% to / from the west on Prices Fork Road
- 5% to/from the west on Glade Road
- 15% to/from the east on Toms Creek Road

Through coordination with the Town, it was determined that 30% of the existing traffic utilizing Honeysuckle Drive or Redbud Road to access the Village neighborhood to the north of the proposed site would utilize the proposed interconnectivity to access Glade Road instead of continuing to utilize the Toms Creek Road.



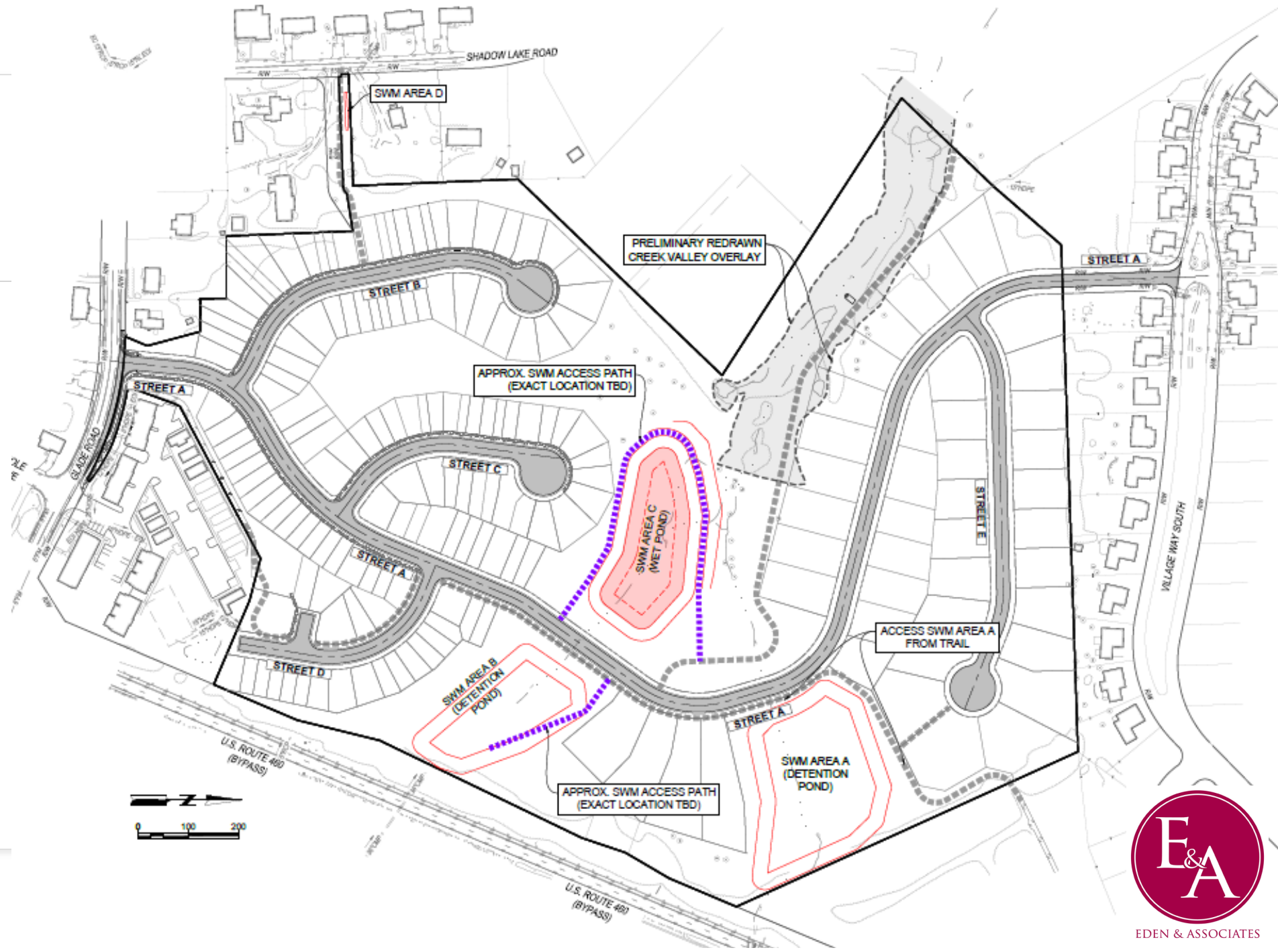
Sidewalk and Trails

- 4000 feet trail
- 2000 feet sidewalk
- grass trails



Stormwater Management

- Dry Water Quantity Ponds: 3
- Water Quality Area: Wet Pond
- Other BMP: Shadow Lake
- Creek Valley Overlay:
 - 100-year floodplain
 - Wetlands
 - 50' within creek
 - Slopes > 25%



Stormwater Management

Regional Benefits: Quantity

- Quantity runoff one-year peak reduction of nearly 60% and a 10-year peak reduction of just under 50%.

Preliminary Results

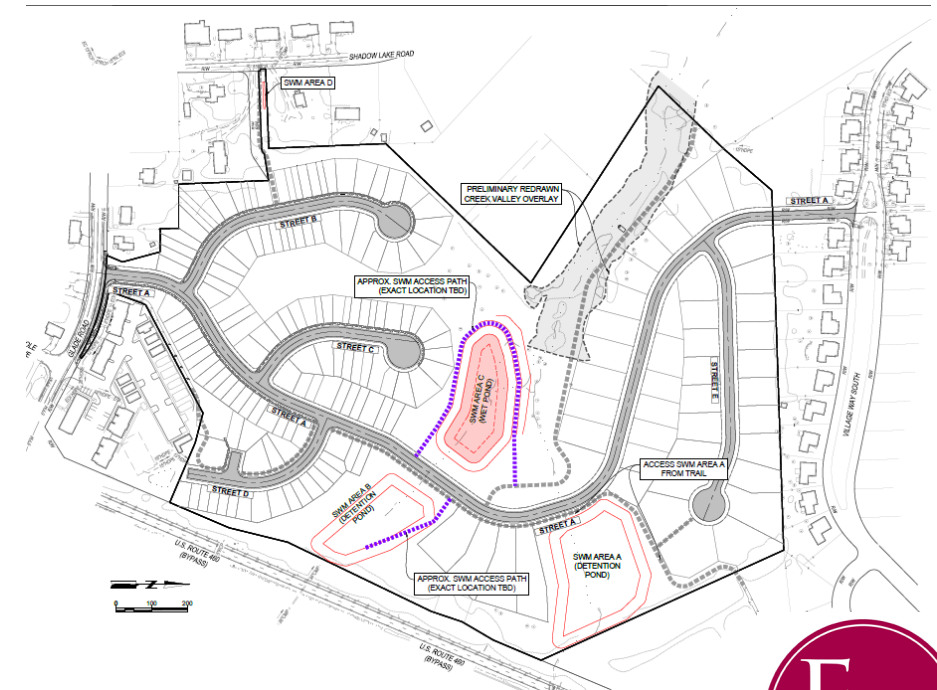
Stormwater Improvement Summary

Water Quantity

	Existing condition	After Regional SWM improvements	Net reduction of peak flow rate at prop. Line (pt. of discharge)
1-year peak flow rate	75.45 cfs	24.83 cfs	-46.32 cfs
10-year peak flow rate	175.77 cfs	90.38 cfs	-85.39 cfs

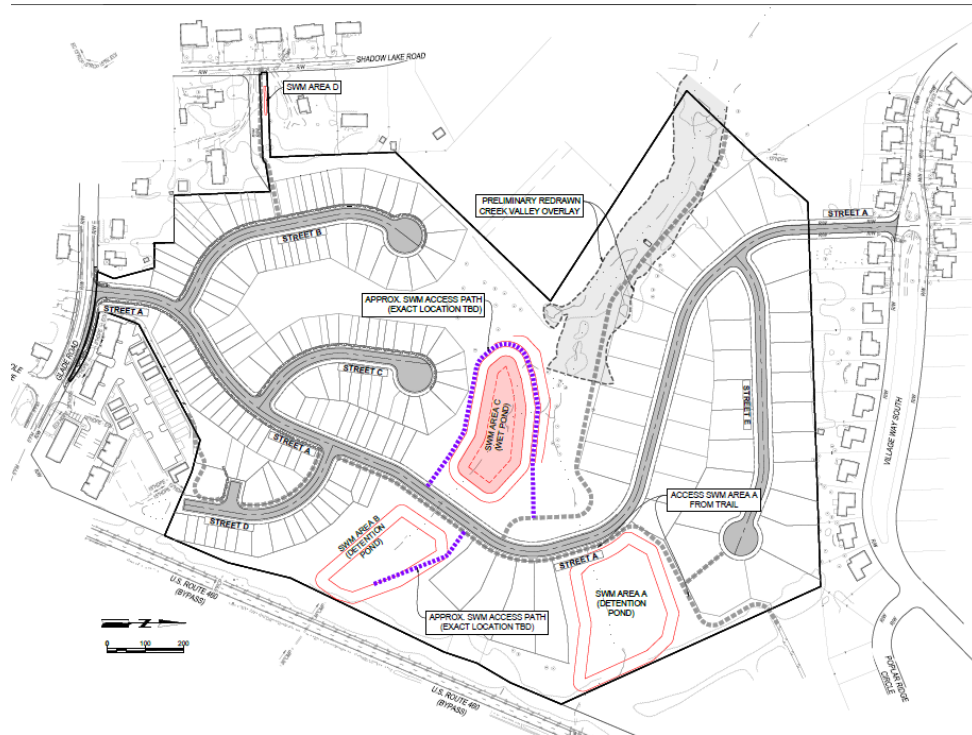
Water Quality

Target TP load reduction	TP load reduction achieved (after SWM improvements)	Excess TP load reduction relative to target
26.53 lb/yr	39.02 lb/yr	+12.49 lb/yr



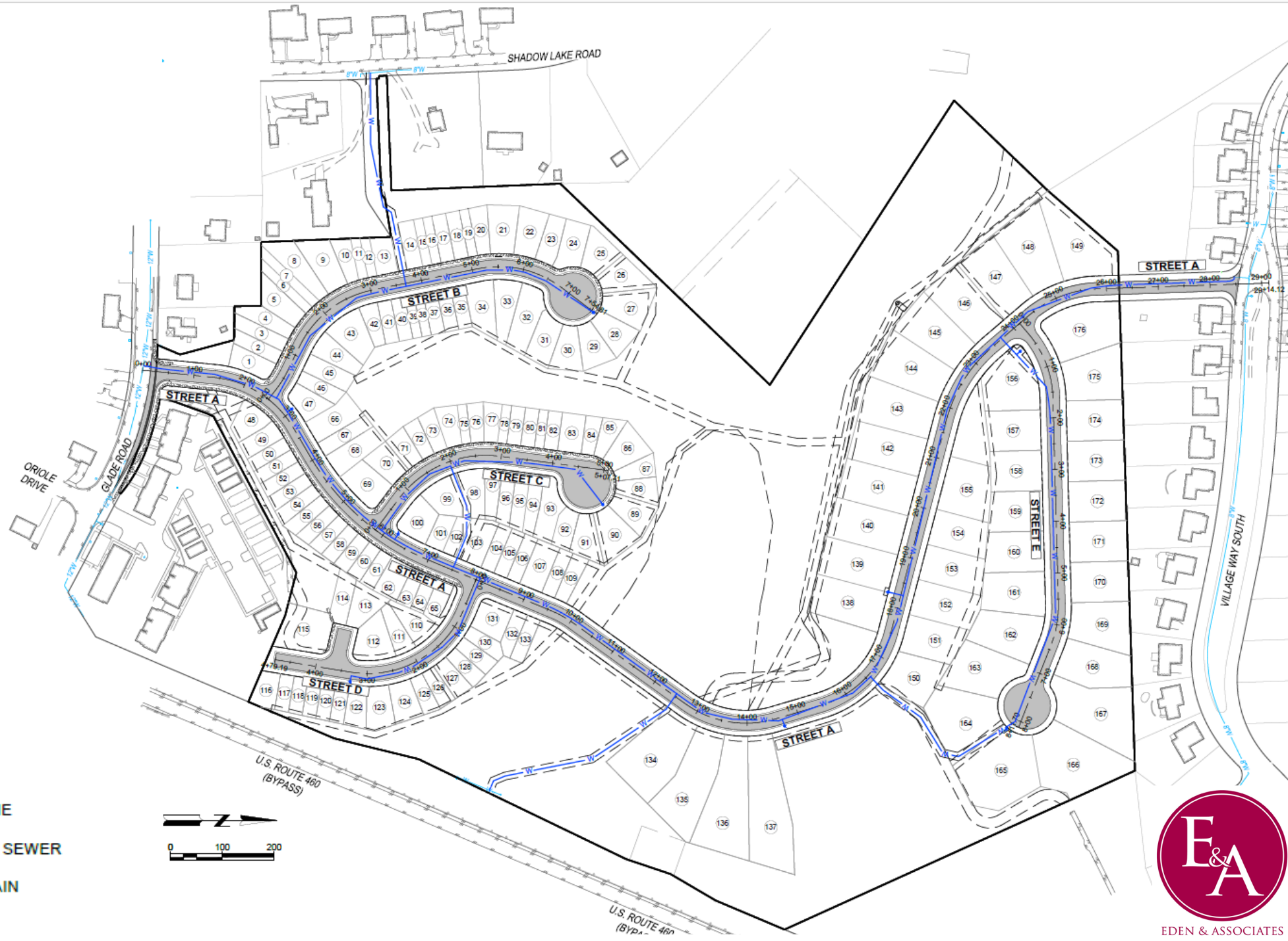
Stormwater Management

- Regional Wet Pond benefits
 - Pollutant reduction from runoff
 - Promotes biodiversity: plants/fish/wildlife
 - Quantity reduction of storms, evaporation
 - Aesthetically pleasing
- pollutant reduction can exceed the required load reduction by 45%.



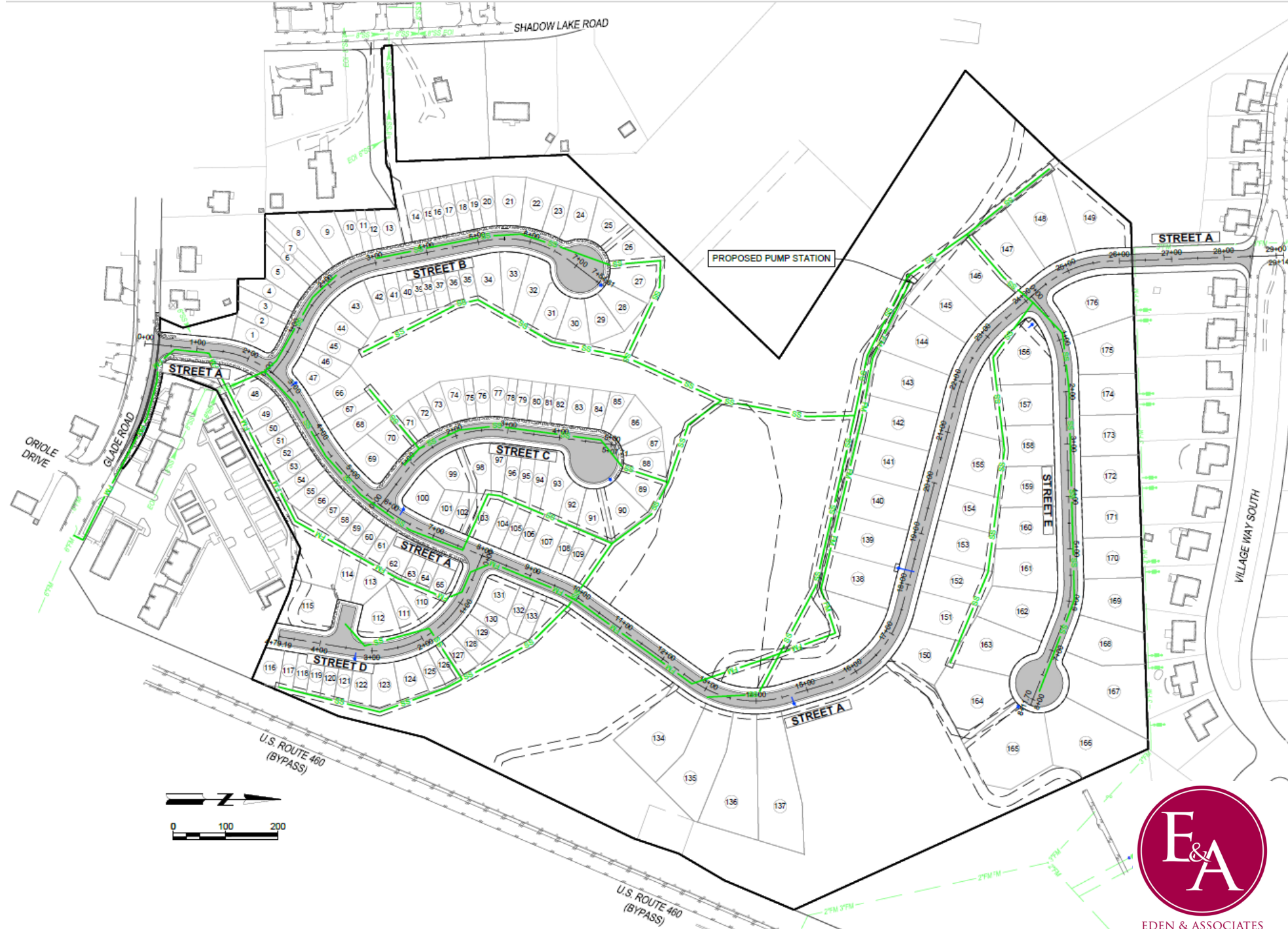
Water System

- Relocate V@TC backfeed loop
- Adequate capacity exists



Sewer System

- New pump station
- Force Main to Glade Rd.
- Reroute the Farm flow



LEGEND

- W EX. WATERLINE
- W PROPOSED WATERLINE
- - - SS EX. SANITARY SEWER
- SS PROPOSED SANITARY SEWER
- - - FM EX. FORCE MAIN
- FM PROPOSED FORCE MAIN



Open Space Management Land Use Plan

LEGEND

1. PROFESSIONALLY MANAGED LANDSCAPE AREAS

- VEGETATED EMBANKMENT

- ENTRANCE

- GATHERING AREAS

2. MANAGED TURF OPEN SPACE

3. BACKYARD TRANSITIONAL ZONE

4. EXISTING WOODLAND RETAINED

5. STORMWATER POND (WET, TOWN MAINTENANCE AREA)

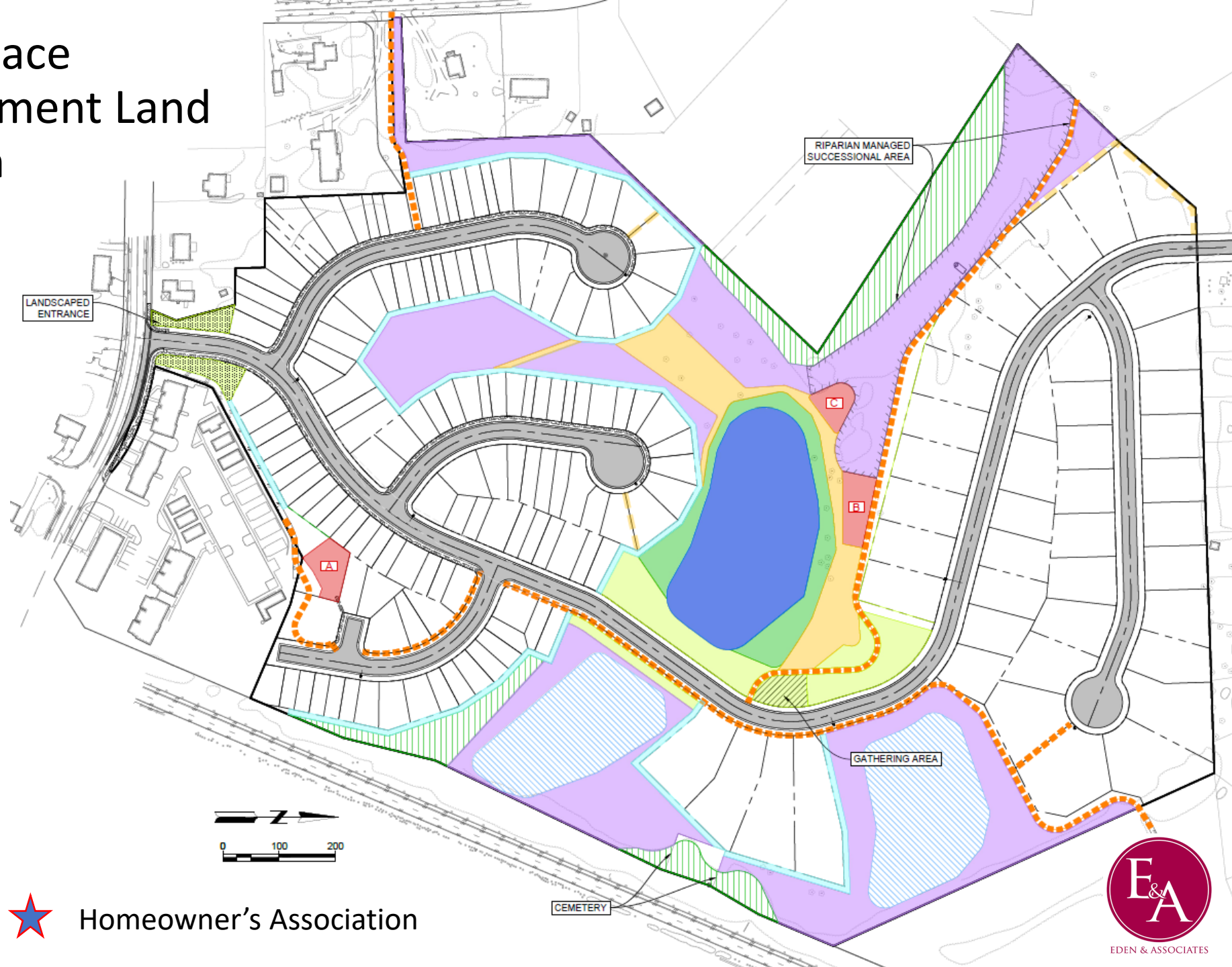
6. STORMWATER POND (DRY)

7. MANAGED SUCCESSIONAL

8. POND EDGE SHADE TREE & SUCCESSIONAL AREA

9. RECREATION AREA

10. PUBLIC TRAILS



Homeowner's Association

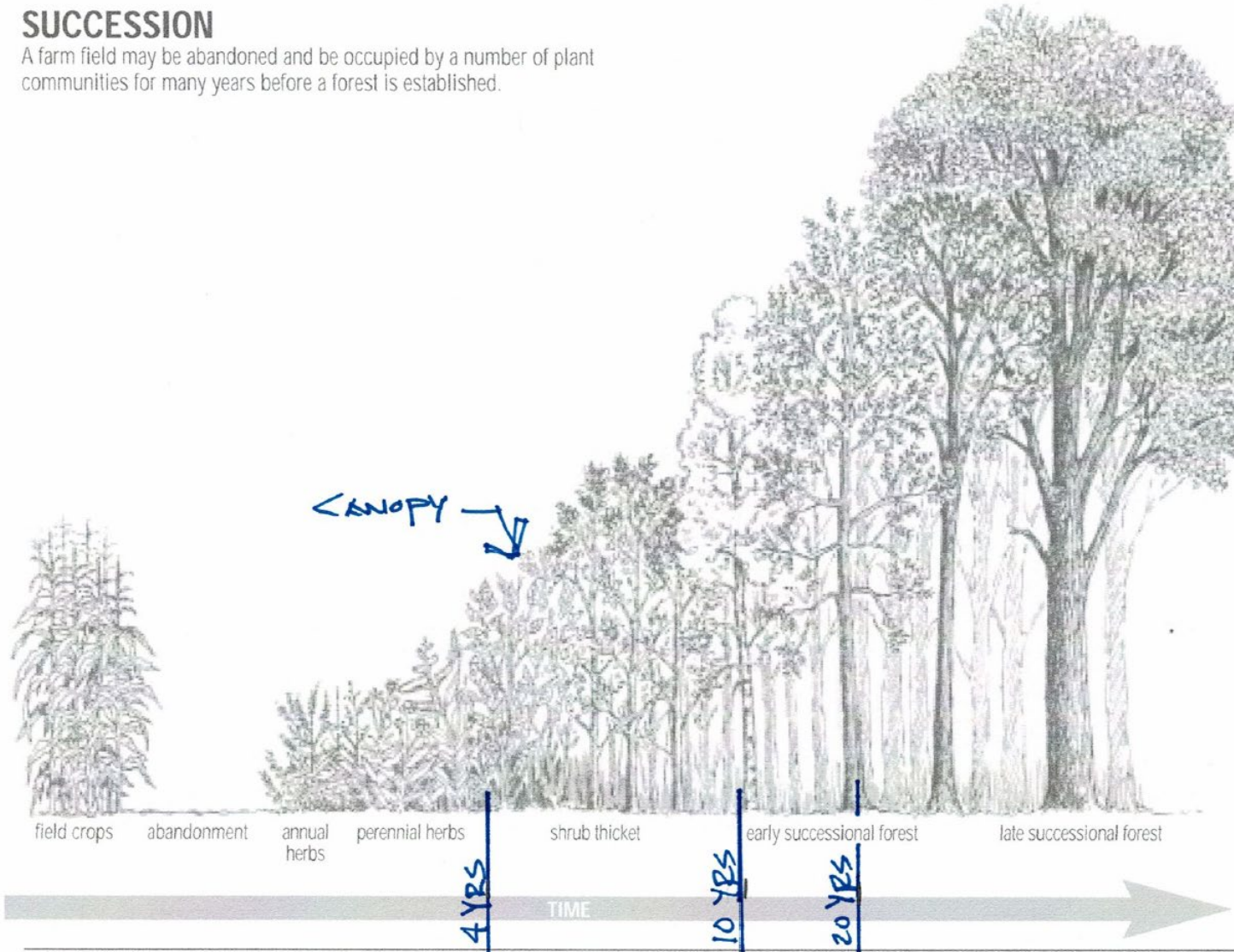


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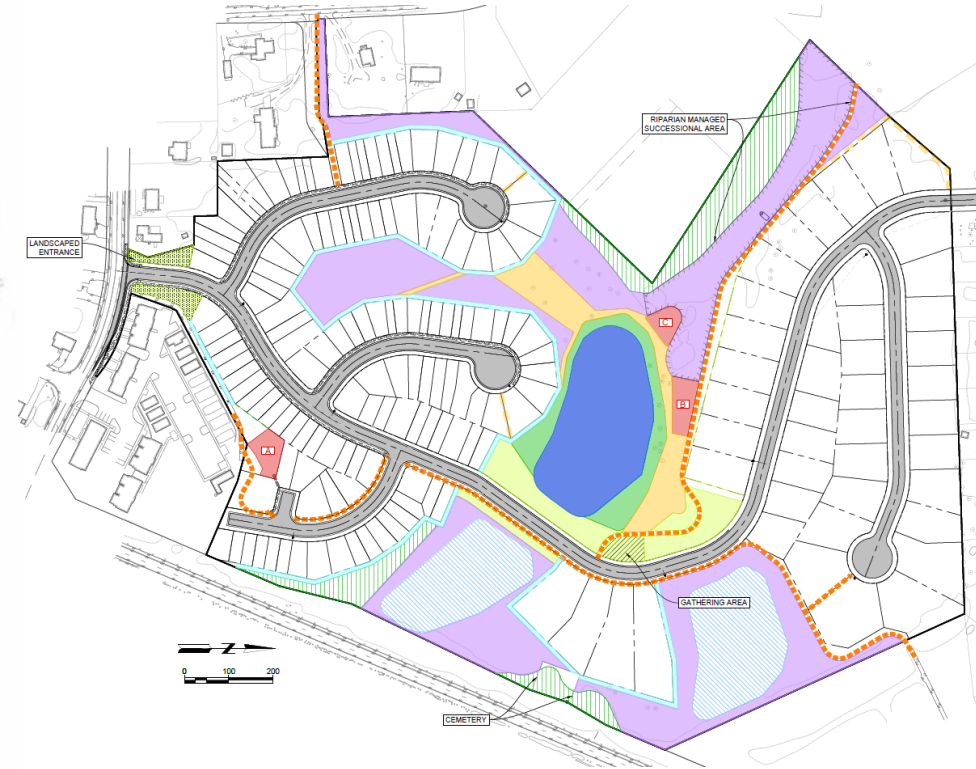
Open Space Management Land Use Plan: Managed Successional Areas

SUCCESSION

A farm field may be abandoned and be occupied by a number of plant communities for many years before a forest is established.



Homeowner's Association



LandOwner Resource Center, Ontario Extension

Landscaping

LEGEND

STREET TREES



EXISTING WOODLAND
RETAINED



MANAGED TURF AREAS



MANAGED SUCCESSIONAL
LANDSCAPE



STORMWATER AREAS



Questions and Comments

CONTACT INFORMATION

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- Marla/Cary Hopper: Development Team
 - marlakemsey1@gmail.com
 - caryhopper@msn.com
- Website: <https://gladespringcrossing.com>



Vicinity Map



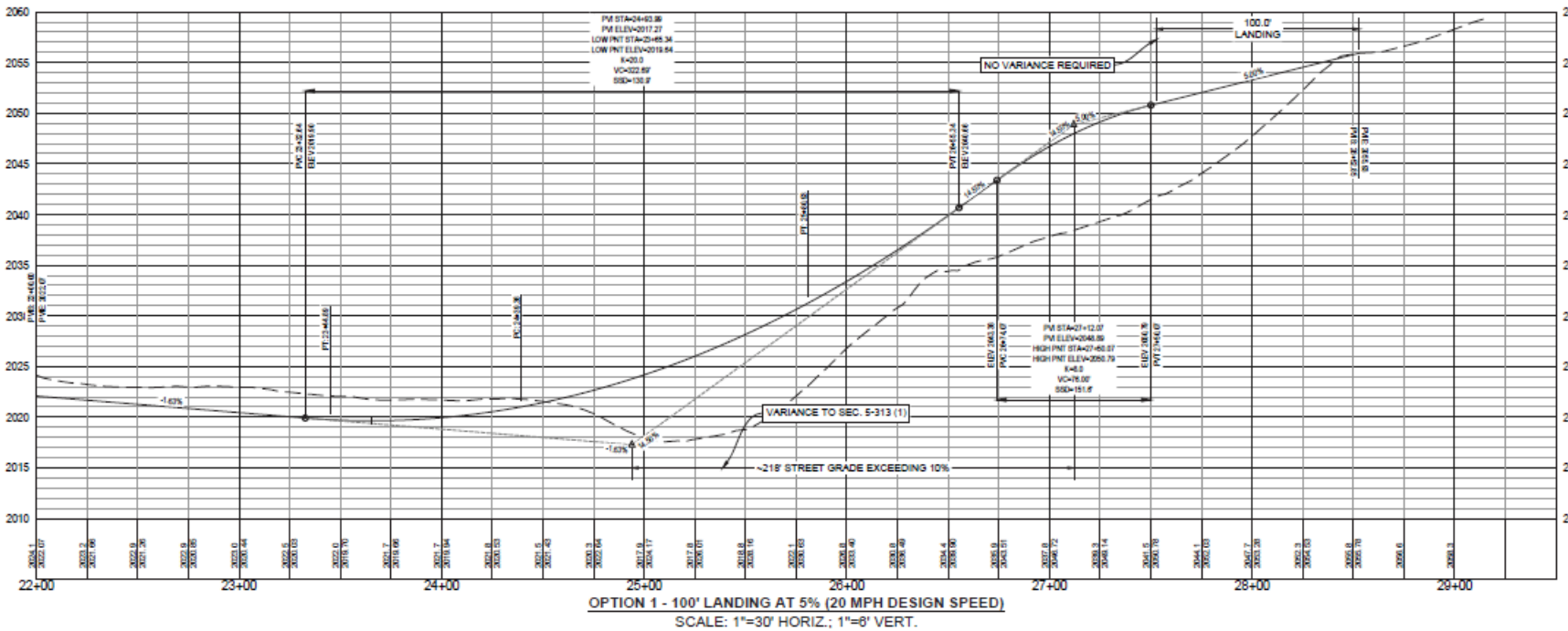
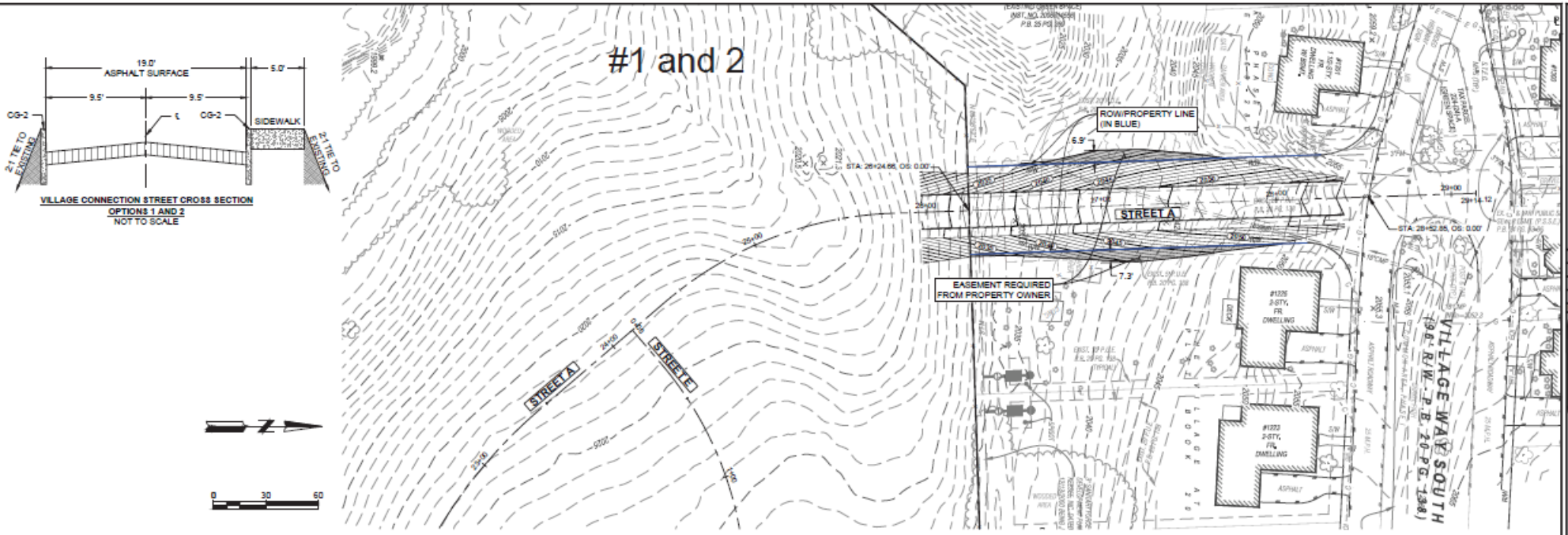
Town of Blacksburg GIS



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VWS Connection

- With sidewalk, no landing variance



10/16/2022 11:51:00 AM

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 VOICE 574-632-4231
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EA

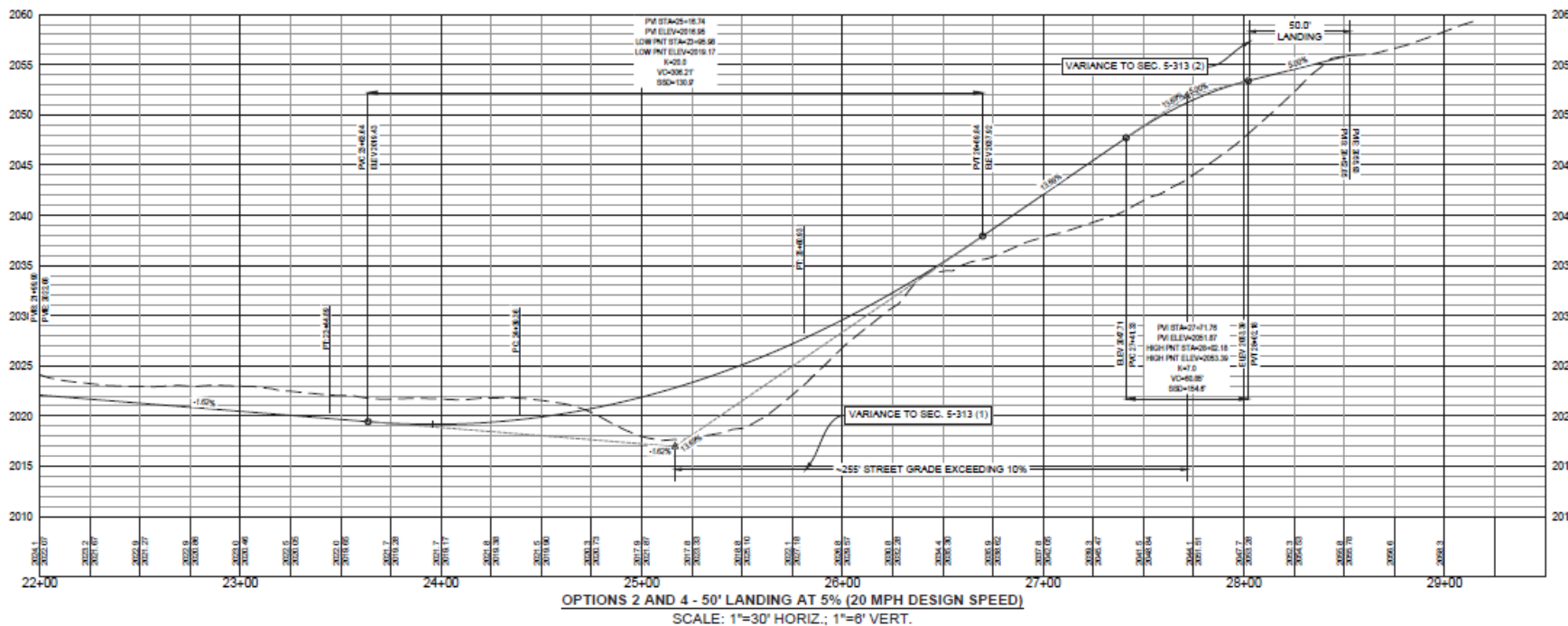
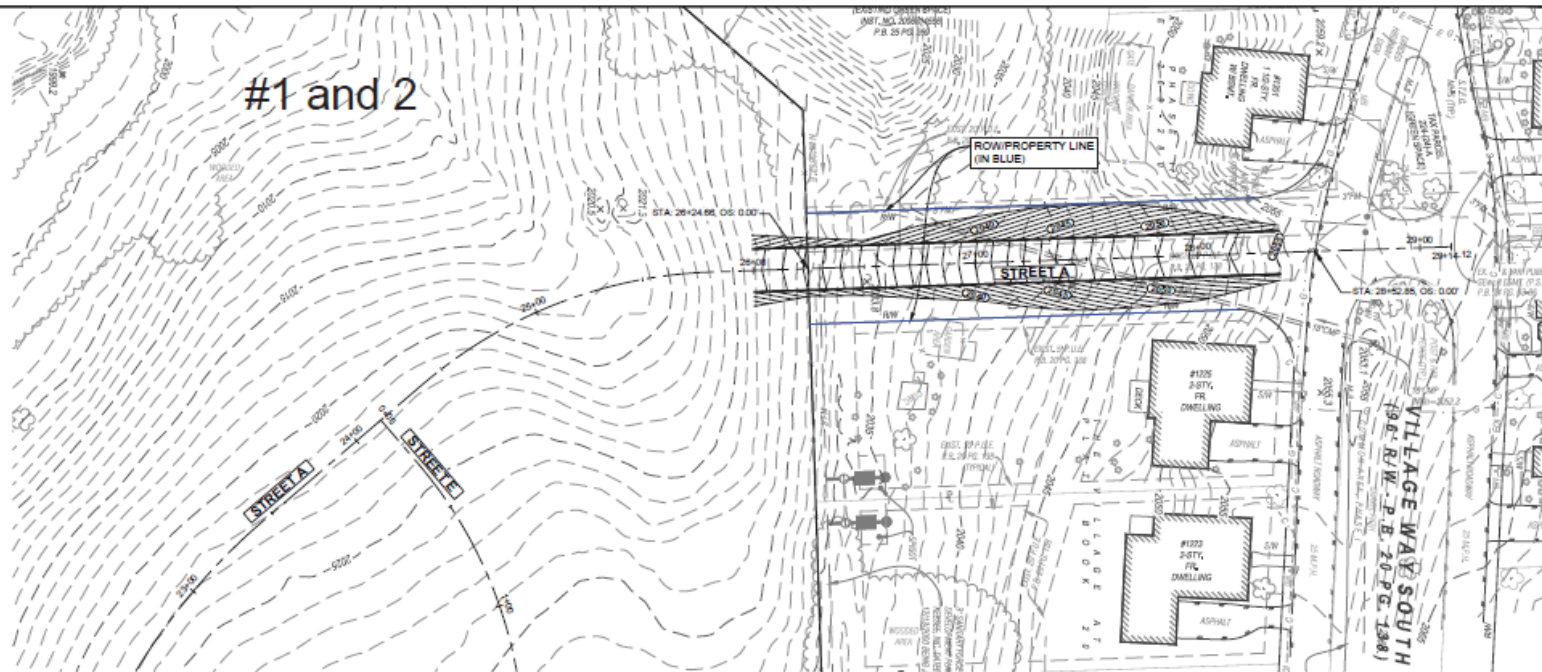
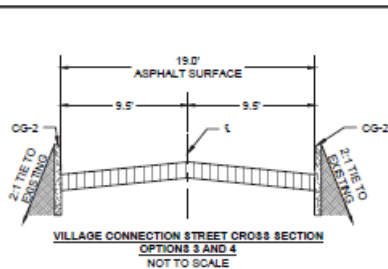
PRELIMINARY
 STREET A - VILLAGE WAY S.
 INTERSECTION EXHIBIT
 (OPTION 1)

PROPOSED DEVELOPMENT OF
 GLADE SPRING CROSSING
 PROPERTY OF GLADE HGTS. LLC - TAX PARCELS
 225(A)-3, 225(A)-4, & 224(A)-57, 45,2876 AC.
 TOWN OF BLACKSBURG - PHASE 2 SUBDIVISION

Drawn By:	MSP	Scale:	AS SHOWN
Checked By:		Date:	10/16/2022
Sheet No.:	1 of 4		EX1

VWS Connection

- No sidewalk with landing variance



EDEN & ASSOCIATES

EDEN & ASSOCIATES
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 100 KRAVITZ DRIVE SUITE 300
 WILSONVILLE, OR 97148
 VOICE 503-632-2031
 FAX 503-632-3448



PRELIMINARY

STREET A - VILLAGE WAY S.
 INTERSECTION EXHIBIT
 (OPTION 4)

PROPOSED DEVELOPMENT OF
 GLADE SPRING CROSSING
 PROPERTY OF GLADE HGTS. LLC - TAX PARCELS
 225-(A)-3, 225-(A)-4, & 224-(A)-57, 45,0876 AC.
 TOWN OF WASHINGTON COUNTY, OREGON

Drawn By: MSF
 Scale: AS SHOWN

Checked By: -
 Date: 10/18/2022

Sheet No. 4 of 4

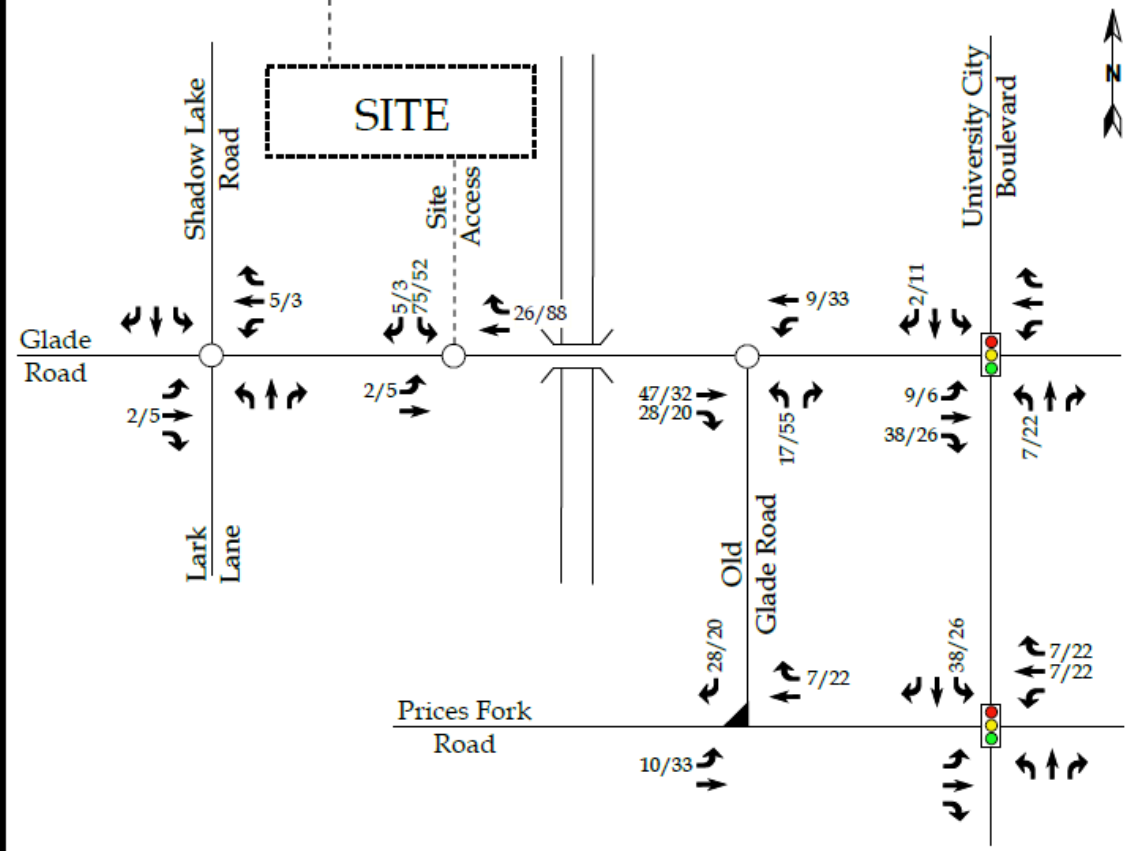
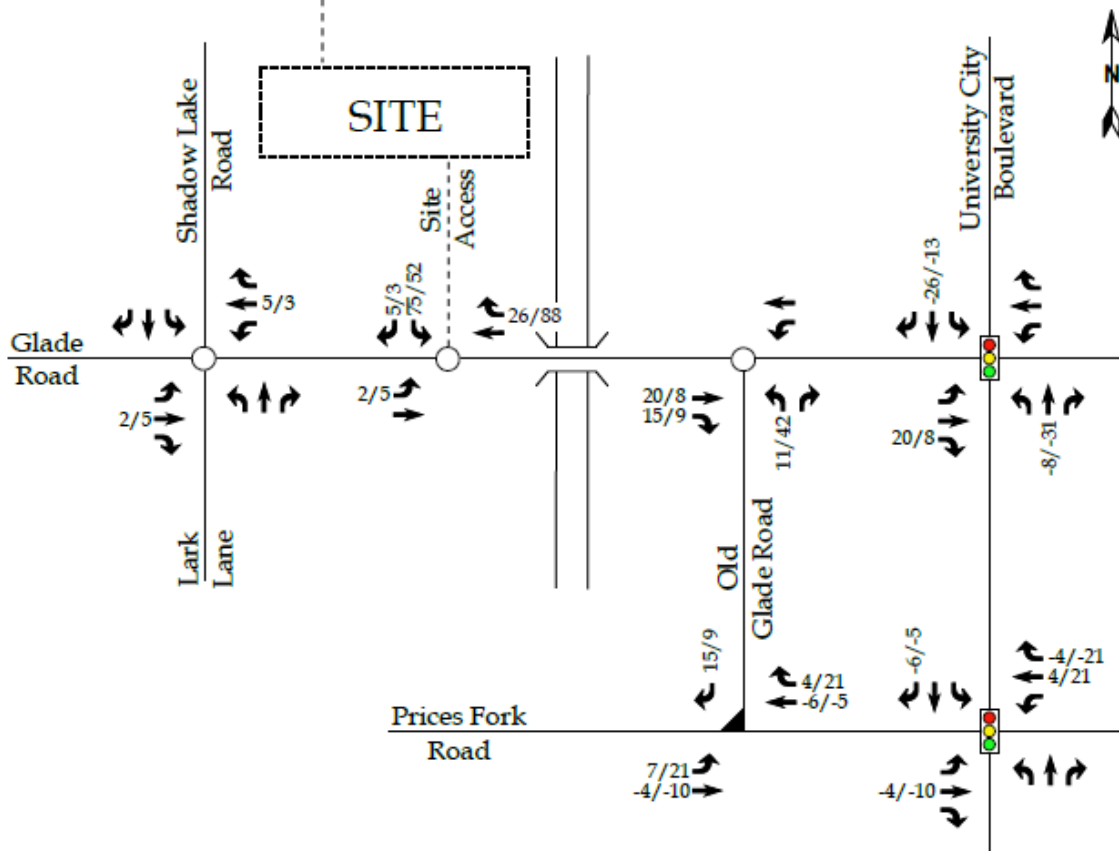
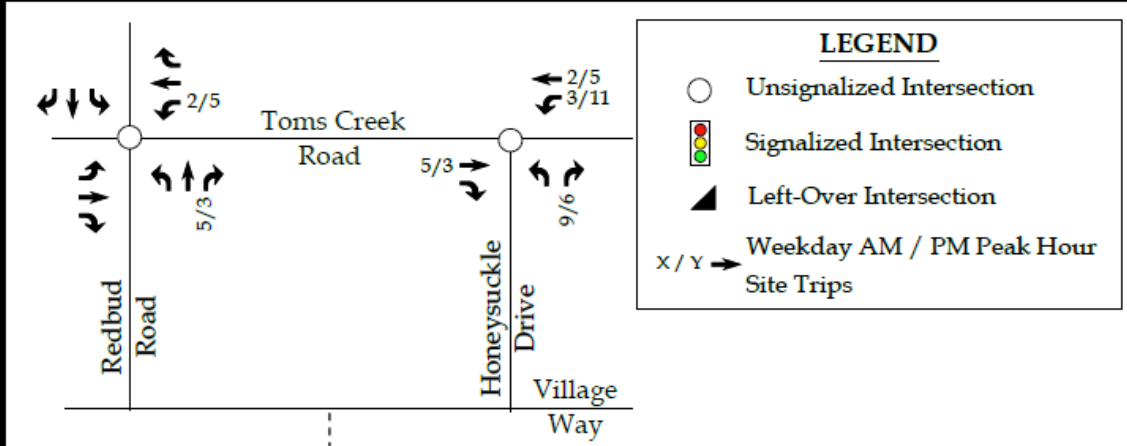
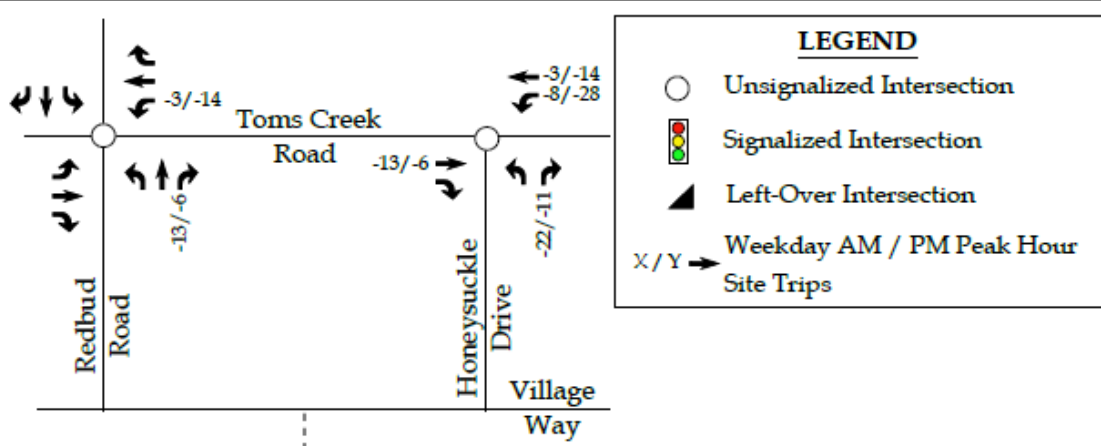
EX4

Walnut Dr: Givens Farm

Similar to our connection >12% grade non-standard landing



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Glade Heights
Blacksburg, VA

Rerouted Village
Existing Traffic



Glade Heights
Blacksburg, VA

Site Trip Assignment