

New Construction

Strengthening Patterns



Townhouses along Harding Avenue utilize materials detailed in a contemporary manner and individual entrances from grade that provide identity and reflect the scale and character found in the district.

use this pamphlet when:

- *constructing a new independent building*
- *making significant site changes*

PRINCIPLES for ADVISORY GUIDELINES

New construction can bring capital investment, increase commerce and foster social activity that enhances and protects the historic and special features of the district

Infill building, when appropriate in type, scale, massing and material, will benefit the downtown and adjacent neighborhoods.

These guidelines provide a framework for design that reinforces the character of the district. These guidelines do not intend to prescribe specific solutions.

Development that builds upon patterns of the eclectic area can offer a balance of diverse residents and businesses in the district.

Innovative design that links new ideas with tradition can promote civic and economic investment while protecting the historic character and encouraging sustainable growth.

BUILDING TYPE AND DESIGN CONSIDERATIONS

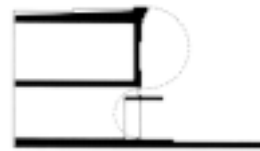
New construction should be compatible with existing buildings by respecting established patterns of **building orientation, type, volume, height, and scale**. Care should be taken to use building elements and features that fit the new design into the neighboring context.

Facades of downtown buildings have multiple recessed ground level entries and large glass fronts with one to three stories above. Simple rectilinear forms are manipulated to express the individual identity of buildings while providing continuity along the street.

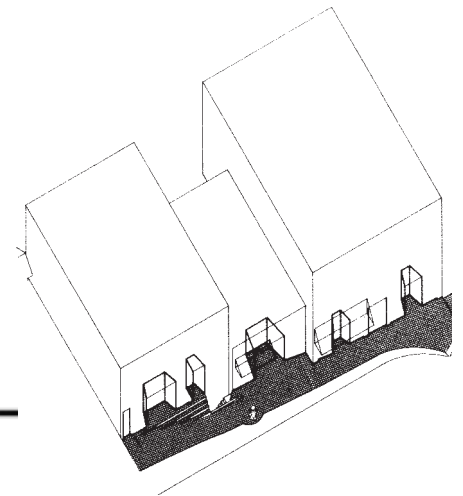
In mostly residential areas, one and two story houses with shallow yards line the street. Churches and other buildings have similar proportions and volumes to those of adjacent houses.

General Considerations

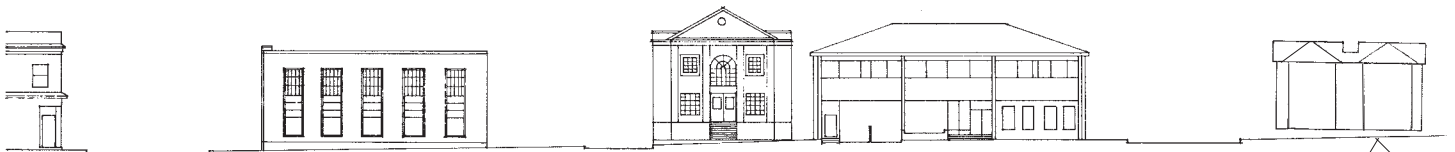
- In placing new buildings on a site, consider the location of adjacent buildings, and trees.
- **Building heights** range from one to four stories in the district. New construction can differ yet new buildings should acknowledge adjacent building heights.
- **Massing and volume** of new construction should reflect neighboring buildings. Block like building forms are most common in the commercial downtown. Building forms in the residential areas are often more varied.
- Provide **roof designs** related to pitch, shape and area of roofs found in neighboring structures. In residential areas, gable and hip roofs are predominant. Flat or shed roofs behind a parapet are typical in downtown.



Storefront section



Recessed entries

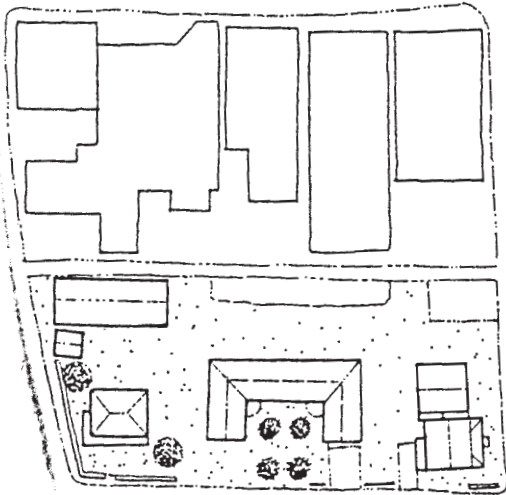


Elevation along Roanoke Street showing a variety of building types

- Consider proportions and patterns of windows, doors and other elements found in the district.
- Orient building fronts and entrances to the street so they contribute to the street frontage continuity.
- Be alert to building remains, related features and landscapes of archaeological significance. Consider appropriate action that conserves the historic fabric.



Commercial duplex with upper level dwellings



Progress Street



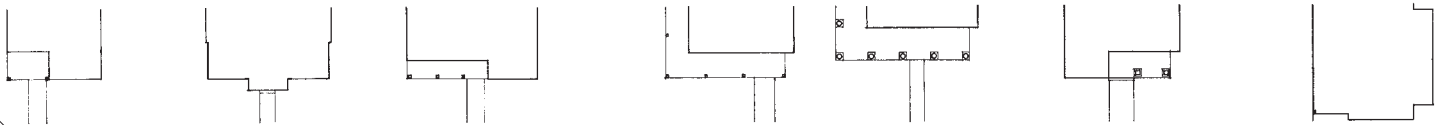
Courtyard townhouse form maintains setback and scale

Commercial Buildings

- Street frontage of downtown buildings is generally less than 25' in width.
- Building heights are generally 2 - 3 - 4 stories in the downtown area. Taller buildings need to be sensitive to this pattern and scale.
- Recessed storefront entries offer intimate scale for the pedestrian, identity for the individual business and an amenity for the street.
- Access to upper levels is best through a vestibule at street level.
- Storefronts with a high degree of transparency and height of 10-12 feet are appropriate for the ground level of buildings.
- The **building mass** at the **ground level** should be continuous.
- Upper story windows generally should be vertical in proportion regularly spaced in a solid facade.

Residential Buildings

- Place main entry at ground level, directly related to the street and provide a secondary rear entry.



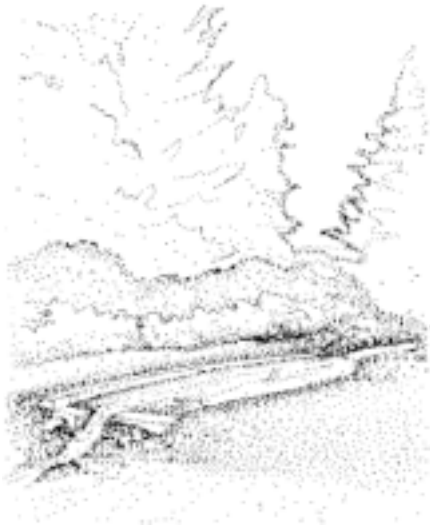
Townhouse grouping

- Articulate the individual identity of each dwelling by giving emphasis to the **vertical dimension**. Multiple unit dwellings such as row houses, should have massing and orientation that give identity to individual units.
- Two story dwellings comprising an attic or loft space are typical in the district.

STRENGTHENING STREETS and LANDSCAPE

In many areas of the district, layers of landscape, such as trees and hedges, in combination with low walls and fences typically define the street edge. New building massing and related site elements similar to the existing type and scale can contribute to development of street frontage continuity.

- In general, the **site design** of new buildings should respect consistent street frontage dimension and pattern.
- New construction should reflect the average front **setbacks** of the block.
- Maintain and reinforce the street plan with street edge elements or plantings, such as low fences and hedges, plantings beds, street trees, and decorative paving materials.
- Consider known archaeological sites by employing careful excavation and grading, or invite archaeologists to investigate the site. Consult with town for assistance if needed.
- Maintain the natural setting of streams as urban amenities.



A stream as an urban amenity by an office on Church Street

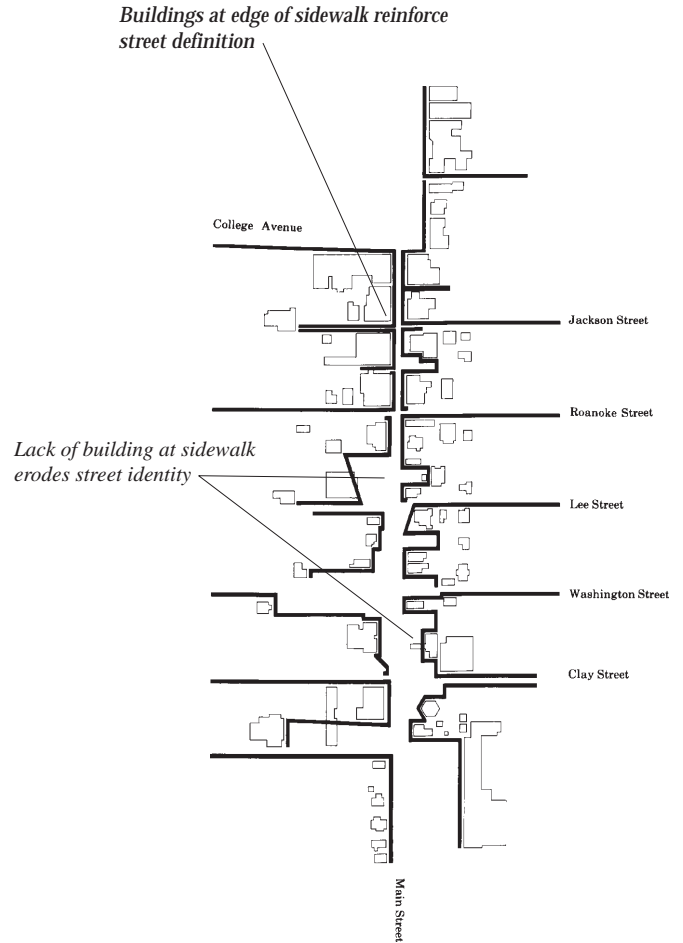
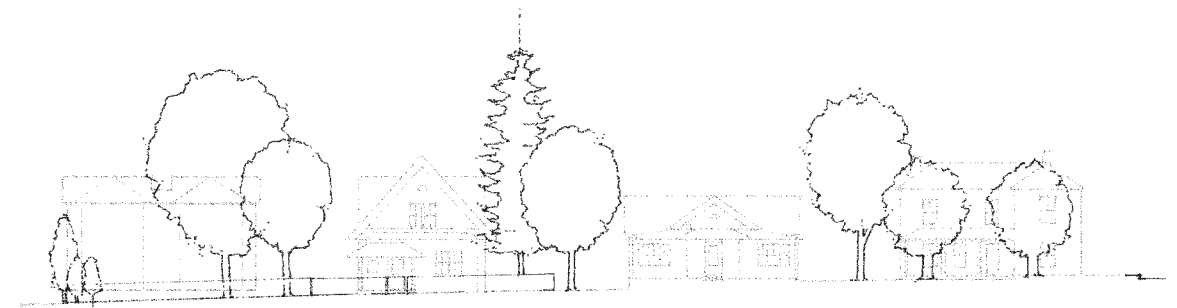
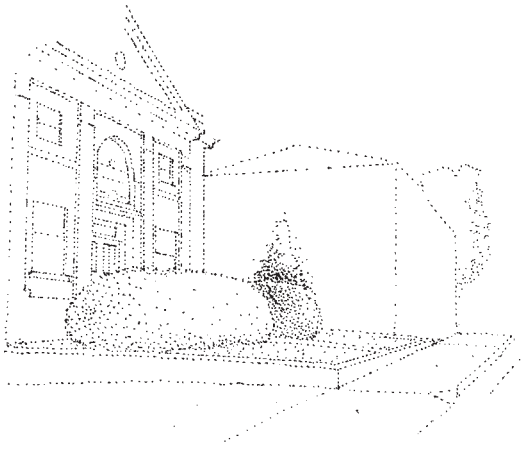


Diagram showing continuity and discontinuity of street edge on Main Street

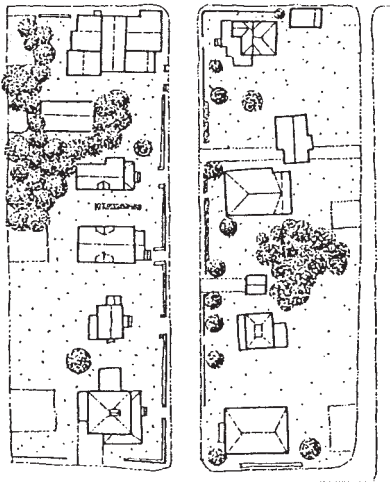


Elevation along Roanoke Street showing lawns with large street trees and a variety of shrubs

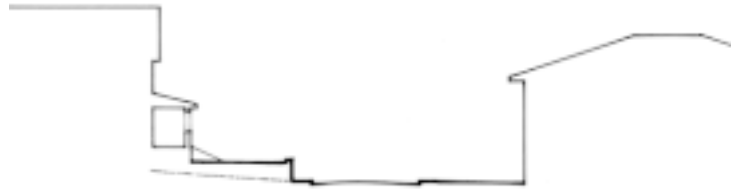


Retaining walls as a repeating pattern in the landscape

- Where there is a prevailing pattern of **landscape**, such as lawns, consider **extending the pattern**.
- Retain specimen trees, hedges and plantings.
- Significant alteration of existing topography is discouraged. Terraced changes in elevation with low retaining walls is preferable.
- Maintain natural grades or use retaining walls when reconfiguring grades at sidewalk or street.



Drawing of terraced lawns along one block of Progress Street



Section showing terracing and retaining walls to adjust existing grades

- Air conditioning units, satellite dishes, trash containers, utility boxes, and ramps are best screened from street view with low walls, fences and plantings.
- Non-residential buildings should locate service areas at rear of lot and screened from street view.
- Exterior lighting should match building type and scale. High intensity commercial lighting is generally unacceptable in areas of residential development. In such areas, pole-mounted lighting no more than 10' in height is preferred.



BALANCING PEDESTRIAN AREAS and PARKING

Neighborhoods should be pleasant for walking with a balance maintained between parked cars and pedestrians. The site of parking can be accommodated as a positive addition to the historic area. A thoughtfully constructed streetscape invites pedestrians while providing for cars.

- To encourage pedestrian activity, locate parking for cars behind the front face of buildings, garaged or situated in a landscaped court and screened from street view.
- Walkways linking building entrances to the street and through the block are encouraged.
- Narrow curb cuts and single lane driveways -- often 8-12 feet in width -- are encouraged.



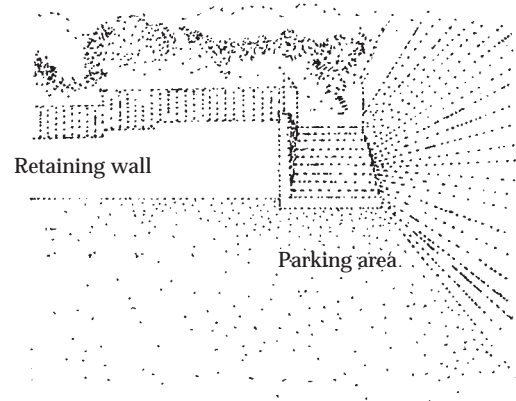
Narrow driveway leading to parking in the rear



Patterns of driveways and garages along Harding Avenue and Wilson Street

- Avoid removing mature landscape plantings when providing new driveways. If removal is needed, trees and other plantings should be replaced in a way that reinforces the prevailing pattern.
- Locate new parking areas and garages in a way that reinforces the quality of the pedestrian experience. Layers of landscape along the street and islands planted with trees and hedges are preferred.
- A series of connected small groupings of parked cars with substantial landscaping is more compatible with the scale of the district than one single parking lot.
- Consider grading parking lots as level as possible while maintaining existing grade along street edge.

Stairway from parking court to sidewalk



Courtyard parking with brick retaining walls and stairway to adjoining street

MATERIALS and CRAFTSMANSHIP

The set of materials in the historic district offers an understanding of compatible and coherent construction practices and craftsmanship. Material selection for new construction should be considered in conjunction with its use in construction. Care should be given to adjust prefabricated building products to the local setting.

Construction practices that use craftsmanship and the craft of building assist in the longevity of materials and buildings. The durability of a material and subsequent maintenance are important factors for new development.

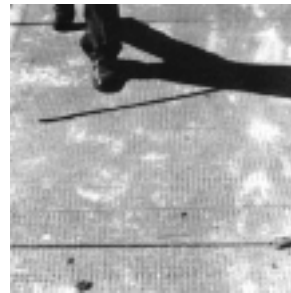


Lighting detail in a brick facade where graduated brick pockets frame the wall sconces



Corner porch detail with an open frame column enlarges the street view

- Material selection for new construction includes the innovative use of materials but requires appropriate detailing and craftsmanship.
- New construction can employ new materials and should respect the detail of materials found in historic buildings. Some examples of early used materials in the district include:
 - Windows, historically, had clear glass rather than tinted or reflective glass.
 - Storefronts are typically metal or wood window frames with clear glass display windows.
 - Common roof materials are standing seam metal; pressed metal, slate or asphalt shingles.
 - Wall materials include painted wood, brick, stone, stucco and wood shingles.
- Avoid changing materials at the corners of buildings. When necessary, a dimension of at least 2'-0" from the corner is recommended.
- Avoid use of pressure treated wood in the front of structures. When used, paint or stain.
- Paving for new driveways, parking areas and walkways should have surface texture. Consider alternatives to asphalt.



Example of concrete paving with textured surface

- Materials for retaining walls should be similar to existing ones found in the district such as brick or stone. Take care to provide adequate and proper drainage.
- Painted wood and metal fences that leave the street and yard open to view are preferred.

PROPOSAL REVIEW and COMMENT (per ordinance 1222)

Projects requiring a review will need a review letter as part of the building permit approval process. The applicant is encouraged to consider the contribution that components of a proposal make to the block and street, as well as the individual parcel.

To assist discussion, the following items are suggested:

- Map showing marked location of property under consideration;
- Site plan indicating location of existing and proposed structures and accessory structures including walls, fences, walks, trees and other landscape, and exterior lighting;
- Recent photographs of all sides of the structure or site under consideration, and of adjoining area; and
- Sketches, drawings, or architectural elevations depicting the areas to be affected by alteration and describing how materials are to be employed.

Review Process

Once application and accompanying materials have been submitted to the Town, town staff will review projects requiring an administrative review. If the proposal requires a review by the review board, the project will be placed on the agenda for discussion at the next Review Committee meeting. At the applicant's request, members of the review board or town staff may consult informally with applicant before or after submittal of application. This informal consultation is intended to help applicants understand and interpret the design guidelines prior to the public meeting. Neither the Review Committee nor staff may formally act on the proposal outside of the public meeting.

Processing of applications includes the following actions on the part of the Town staff or review board members:

- Town staff will review project proposals to determine whether they will require an administrative review or review by the review committee
- For projects going to the review board, town staff will notify applicant of adjoining properties that the proposal will be discussed at a public meeting;
- the applicant, other property owners in the district, and other potentially affected parties will have an opportunity to comment on the proposal at a public meeting;
- Project proposals will be reviewed according to Design Guidelines and town staff or the board will render an assessment;
- Town staff will notify applicant in writing of the assessment regarding the proposal. Town staff will maintain minutes of the review board meeting that outline the facts of the proposal assessment.
- The review letter issued to the property owner must be submitted with a building permit application.